

#101 & #102 7425 20 St. SE - Building 1

4-UNIT W/. 4 SUITES
MULTI-FAMILY
DEVELOPMENT

LOTS 12 & 13, BLOCK 8,
PLAN 955 AV

OGDEN, SE CALGARY
LOT ZONING: R-CG

Contents

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EXTERIOR 3D PERSPECTIVE - FOR DESIGN PURPOSE ONLY
SCALE: N.T.S.

Building Statistics

BUILDING HEIGHT	
BUILDING 1	
MAXIMUM BUILDING HEIGHT PLANE = 11.00m	
PROPOSED PEAK GEODETIC = 1034.27	
PROPOSED MAIN FLOOR GEODETIC = 1025.45	
LOWEST ADJACENT GRADE = 1023.93	
PROPOSED HEIGHT = 10.34m	
BUILDING 2	
MAXIMUM BUILDING HEIGHT PLANE = 8.60m	
PROPOSED PEAK GEODETIC = 1032.32	
PROPOSED MAIN FLOOR GEODETIC = 1025.45	
LOWEST ADJACENT GRADE = 1023.81	
PROPOSED HEIGHT = 8.51m	

RESIDENTIAL DENSITY	71.94 units/ha
Lot area = ~ 0.0556 ha	
Units = 4	

PARCEL COVERAGE	53.76 %
Lot area = 555.62 m2	
Building 1 footprint = 111.17 m2	
Building 2 footprint = 109.19 m2	
Garage footprint = 78.35 m2	
Covered entries = 00.00 m2	
Total coverage area = 298.71 m2	

SHARED AMENITY SPACE	79.46 m2
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TOTAL GROSS FLOOR AREA	220.38 m2
TOTAL = 2372 sf 220.38 m2)	
Unit A1 598.00 sf (55.56 m2)	
Unit B1 598.00 sf (55.56 m2)	
Unit C1 588.00 sf (54.63 m2)	
Unit D1 588.00 sf (54.63 m2)	

FRONT SETBACK	
Required front setback = 3.00m	
Proposed front setback = 3.00m	

PARKING STALLS PROVIDED ON-SITE 4.0	
DWELLING UNITS: 4	
PARKING STALLS PER DWELLING UNIT = 1	
VISITOR STALLS PER DWELLING UNIT = 0	
PARKING STALLS PROVIDED: 4	
PROVIDED VIA GARAGE PARKING	

TOTAL LANDSCAPED AREA	233.27 m2
Site area = 555.62 m2	
Covered area = 298.71 m2	
Concrete Apron = 13.01 m2	
Mobility Storage Lockers/Class 1 Lockers = 10.62m2	
Total Coverage Area = 322.35 m2	
Landscaped Area = 233.27 m2 (2510.90 sf)	
HARD LANDSCAPE = 56.97%	
Concrete 132.89 m2	
TOTAL 132.89 m2	
SOFT LANDSCAPE = 43.03%	
Sod 57.37 m2	
Mulch 12.54 m2	
Permeable Pavers 30.47 m2	
TOTAL 100.38 m2	

REQUIRED PLANTINGS	
A minimum of 1.0 tree & 3.0 shrubs must be provided for each 110 m2 of parcel area	
Lot area = 555.62 m2 / 110 = 5.05	
Trees - 1.0 x 5.05 = 5.05 = 6	
Shrubs - 3.0 x 5.05 = 15.15 = 16	
Plantings required = 22	
Plantings provided = 22	
Trees = 6	
Shrubs = 16	

NATIONAL BUILDING CODE - 2023 ALBERTA EDITION

9.9.1.3. OCCUPANT LOAD	(2) The occupant load for the dwelling units shall be based on 2 persons per bedroom or sleeping area.
Occupant load for Unit H is 2; Occupant load for Unit A, B, C, D, & E is 6; Occupant load for Unit F, & G is 8.	

9.10.2.1. BUILDING CLASSIFICATION: GROUP C - RESIDENTIAL OCCUPANCIES	This applies to all the buildings on site including the accessory building.
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9.10.9.11. SEPARATION OF RESIDENTIAL OCCUPANCIES	(1) Except as provided in Sentence (2), residential occupancies shall be separated from all other major occupancies by a fire separation having a fire-resistance rating of not less than 1 h.
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9.10.9.14. SEPARATION OF RESIDENTIAL SUITES	(1) Except as provided in Sentences (2), (3) and (4) and Part 10, suites in residential occupancies shall be separated from adjacent rooms and suites by a fire separation having a fire-resistance rating of not less than 45 min.
	(3) Except as provided in Sentence (4), dwelling units that contain 2 or more storeys including basements shall be separated from the remainder of the building by a fire separation having a fire-resistance rating of not less than 1 h.

9.10.11.2. FIREWALLS NOT REQUIRED	(1) Except as stated in Sentence (2), a party wall on a property line of a building of residential occupancy need not be constructed as a firewall, provided it is constructed as a fire separation having not less than a 1h fire-resistance rating, where the party wall separates: (a) two dwelling units where there is no dwelling unit above another dwelling unit (2) Where a building of residential occupancy contains more than 2 houses, a party wall that separated any 2 adjacent houses with a secondary suite from the rest of the building shall be constructed as a firewall to create separate buildings each containing no more than 2 adjacent houses with a secondary suite. (3) The wall described in sentence (1) shall provide continuous protection from the top of the footings to the underside of the roof deck.
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9.10.11.3. CONSTRUCTION OF FIREWALLS	(1) Where firewalls are used, the requirements in Part 3 shall apply.
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3.1.10.2. RATING OF FIREWALLS	(2) A firewall that separates a building or buildings with floor areas containing major occupancies other than Group E of Group F, Division 1 or 2 shall be constructed as a fire separation of noncombustible construction having a fire-resistance rating of not less than 2 h. (3) Except as permitted by Sentence (4), the required fire-resistance rating of a firewall, except for closures, shall be provided by masonry or concrete.
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3.1.10.3. CONTINUITY OF FIREWALLS	(1) A firewall shall extend from the ground continuously through, or adjacent to, all storeys of a building or buildings so separated, except that a firewall located above a basement storage garage conforming to Article 3.2.1.2. is permitted to commence at the floor assembly immediately above the storage garage.
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3.1.10.4. PARAPETS	(1) Except as permitted by Sentences (2) and 3.1.10.3.(2), a firewall shall extend above the roof surface to form a parapet not less than a) 150mm high for a firewall required to have a fire-resistance rating of not less than 2h
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3.1.10.7. COMBUSTIBLE PROJECTIONS	(2) If buildings are separated by a firewall, combustible projections on the exterior of one building, including balconies, platforms, canopies, eave projections and stairs, that extend outward beyond the end of the firewall, shall not be permitted within 2.4m of combustible projections and window or door openings of the adjacent building. (See also Article 3.2.3.6.)
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3.2.3.6. COMBUSTIBLE PROJECTIONS	(1) Except for a building containing one or 2 dwelling units only, combustible projections on the exterior of a wall that could expose an adjacent building to fire spread and are more than 1m above ground level, including balconies, platforms, canopies and stairs, shall not be permitted within a) 1.2m of a property line or the centre line of a public way, or b) 2.4m of a combustible projection on another building on the same property.
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RESPONSIBILITIES

NEW CENTURY DESIGN

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ISSUED / REVISED	m/d/y
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BP Set 1.01	06.19.25

AREAS		
TOTAL GROSS FLOOR AREA		S.F.
#102 7425 UNIT A1	TOTAL	1243
MAIN		598
UPPER		645
#102B SUITE A2		404
#101 7425 UNIT B1	TOTAL	1243
MAIN		598
UPPER		645
#101B SUITE B2		404
#202 7425 UNIT C1	TOTAL	1221
MAIN		588
UPPER		633
#202B SUITE C2		395
#201 7425 UNIT D1	TOTAL	1221
MAIN		588
UPPER		633
#201B SUITE D2		395

STREET ADDRESS
#101 & #102 7425 20 St. SE

LEGAL ADDRESS
LOTS 12 & 13, BLOCK 8, PLAN 955AV

PROJECT
OGDEN MID-BLOCK DEVELOPMENT BUILDING 1

DESIGN/DRAWN: DK	CHECKED: DK
PROJECT #	23-3-CL-CN-036

SCALE
AS NOTED

TITLE
COVER PAGE

ZONING	R-CG
PAGE	

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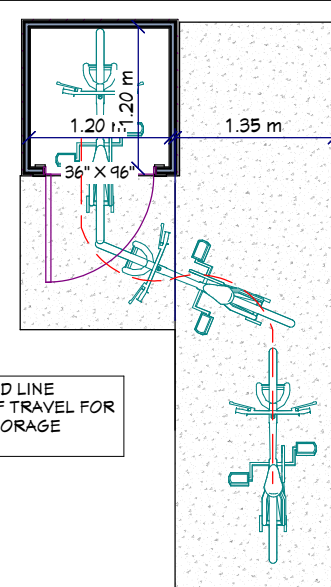
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- SITE PLAN NOTES**
- SOD TO BE DROUGHT TOLERANT GRASS SPECIES
 - SITE TO BE IRRIGATED BY UNDERGROUND LOW WATER IRRIGATION SYSTEM

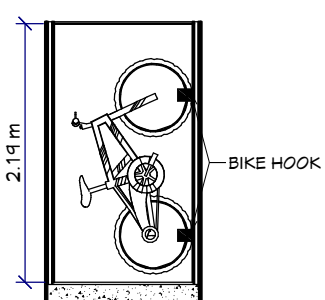
SITE / BLOCK LEGEND			
	PROPOSED STRUCTURE	--- ELEC ---	OVERHEAD ELECTRICAL LINE
	PROPOSED GARAGE	--- SANI ---	CITY SANITATION LINE
	PROPOSED DECK	--- WATER ---	CITY WATER LINE
	PROPOSED VERANDA / COVERED DECK	--- STORM ---	CITY STORM LINE
	PROPOSED MAIN UNIT AMENITY SPACE	--- GAS ---	CITY GAS LINE
	PROPOSED SUITE AMENITY SPACE	---	PROPERTY LINE
	NEIGHBOURING STRUCTURE		= SITE SECTION
	PROPOSED RETAINING WALL		= PROPOSED GRADE
	CONCRETE		= EXISTING GRADE
	GRAVEL		= EXTRAPOLATED GRADE
	DECIDUOUS - TYPE 1		= PROPOSED SLOPE
	DECIDUOUS - TYPE 2		= PROPOSED SLOPE
	CONIFEROUS - TYPE 1		COMPOST, WASTE & RECYCLING BINS
	CONIFEROUS - TYPE 2		SUITE BIKE STORAGE UNIT
			SHRUB - TYPE 1
			SHRUB - TYPE 2
			EXISTING TREE TO BE REMOVED

TREE LEGEND					
#	DIA.	CAN. HGT.	TYPE	SPECIES	STATUS
T1	---	0.77	BUSH		TO BE REMOVED
T2	0.56	13.00	DECIDUOUS		TO BE REMOVED
T3	0.10	0.90	CONIFEROUS		TO BE REMOVED
T4	---	1.40	BUSH		TO BE REMOVED
T5	0.15	7.15	DECIDUOUS		TO BE REMOVED
T6	---	2.50	BUSH		TO BE REMOVED
PROPOSED					
T7	0.06	---	CONIFEROUS	WHITE CEDAR	TO BE PLANTED(x3)
T8	0.06	---	DECIDUOUS	COLUMNAR ASPEN	TO BE PLANTED(x3)
S1	---	0.60	ALPINE CURRANT		TO BE PLANTED(x3)
S2	---	0.60	JUNIPER		TO BE PLANTED(x3)

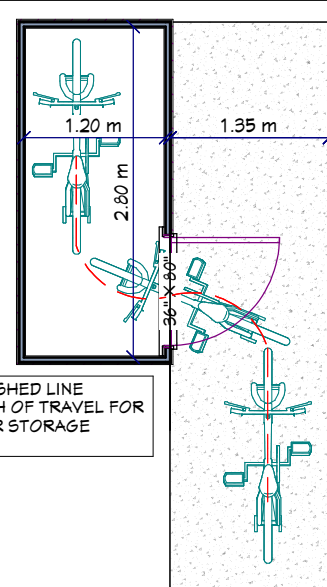
CLASS 1 BIKE STORAGE LOCKER ON CONC. PAD
1.20m x 1.20m x 2.19m (Interior)
NOT STRUCTURALLY ATTACHED TO GARAGE



NOTE: RED DASHED LINE DENOTES PATH OF TRAVEL FOR BIKES TO ENTER STORAGE LOCKER



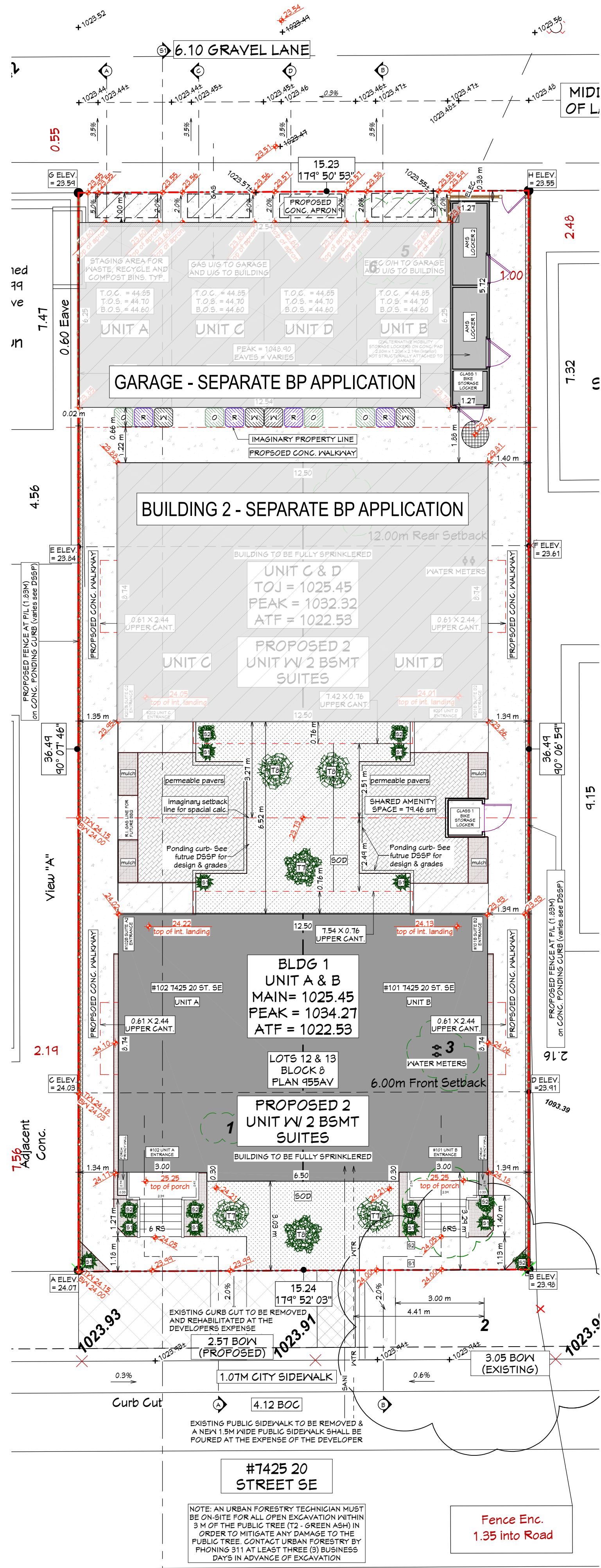
ALTERNATIVE MOBILITY STORAGE LOCKERS ON CONC. PAD
2.80m x 1.20m x 2.19m (Interior)
NOT STRUCTURALLY ATTACHED TO GARAGE



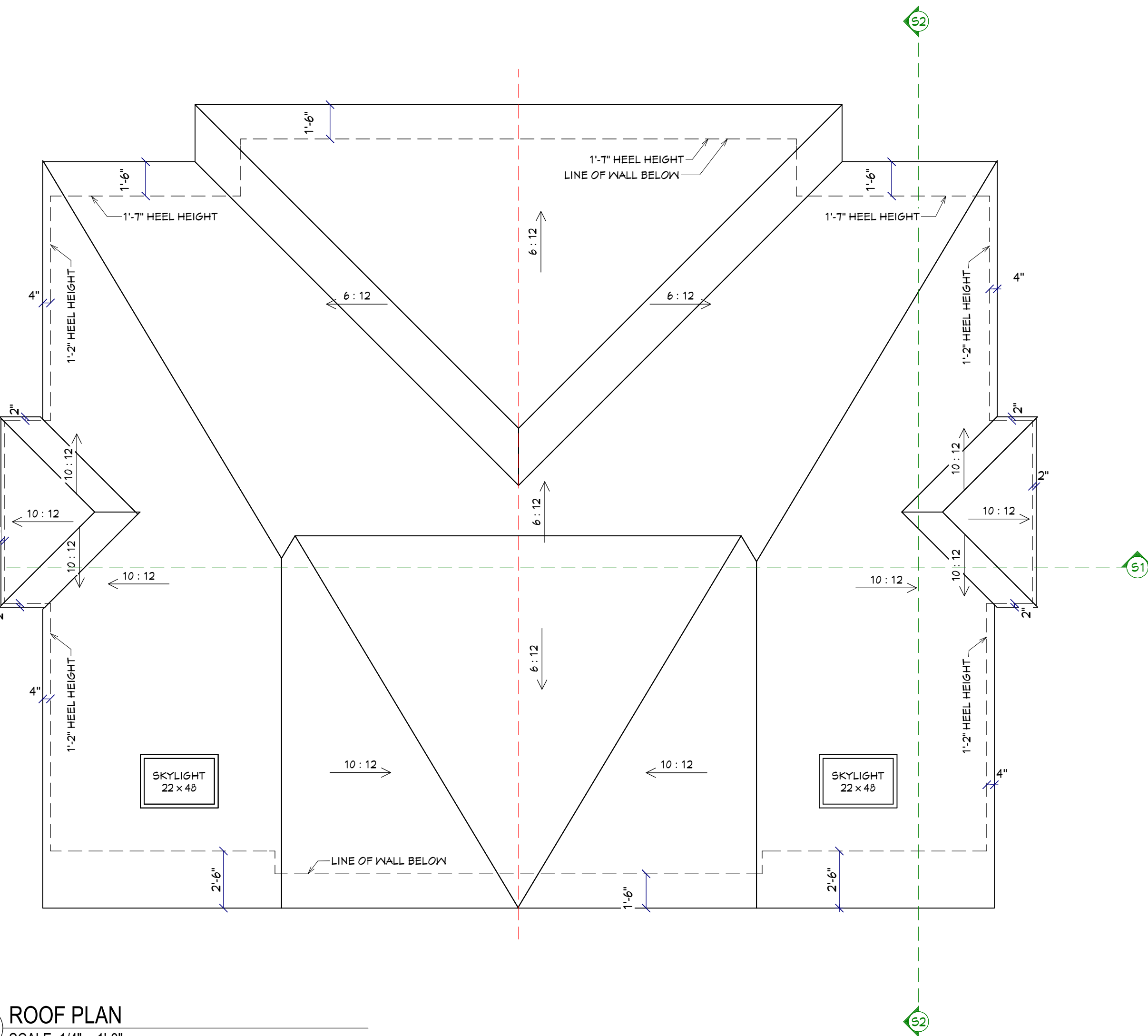
NOTE: RED DASHED LINE DENOTES PATH OF TRAVEL FOR BIKES TO ENTER STORAGE LOCKER



LOCKER ACCESS DIAGRAMS
SCALE: 3/16" = 1'-0"



SITE PLAN
SCALE: 1:100



ROOF PLAN
SCALE: 1/4" = 1'-0"



PERMEABLE PAVERS
SCALE: NTS - FOR ILLUSTRATION PURPOSES

RESPONSIBILITIES

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PROJECT

OGDEN MID-BLOCK DEVELOPMENT
BUILDING 1

DESIGN/DRAWN: DK
PROJECT # 23-3-CL-CN-036

SCALE

AS NOTED

TITLE

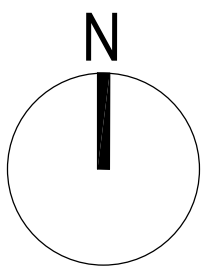
SITE PLAN & ROOF PLAN

ZONING R-CG
PAGE

A2

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DESIGN/DRAWN: DK

CHECKED: DK

PROJECT # 23-3-CL-CN-036

SCALE

AS SHOWN

TITLE

MAIN & UPPER FLOOR
PLANS

ZONING

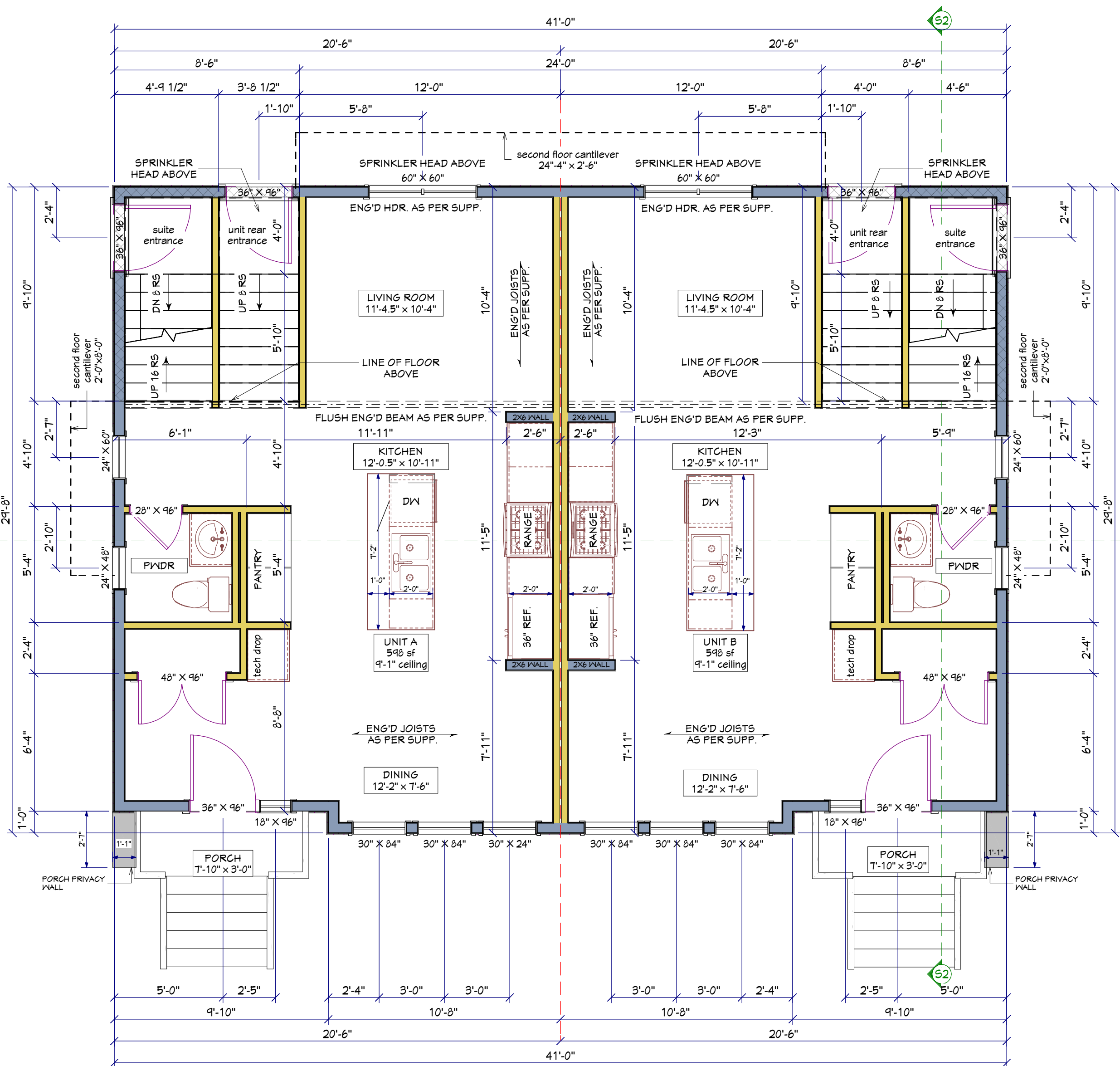
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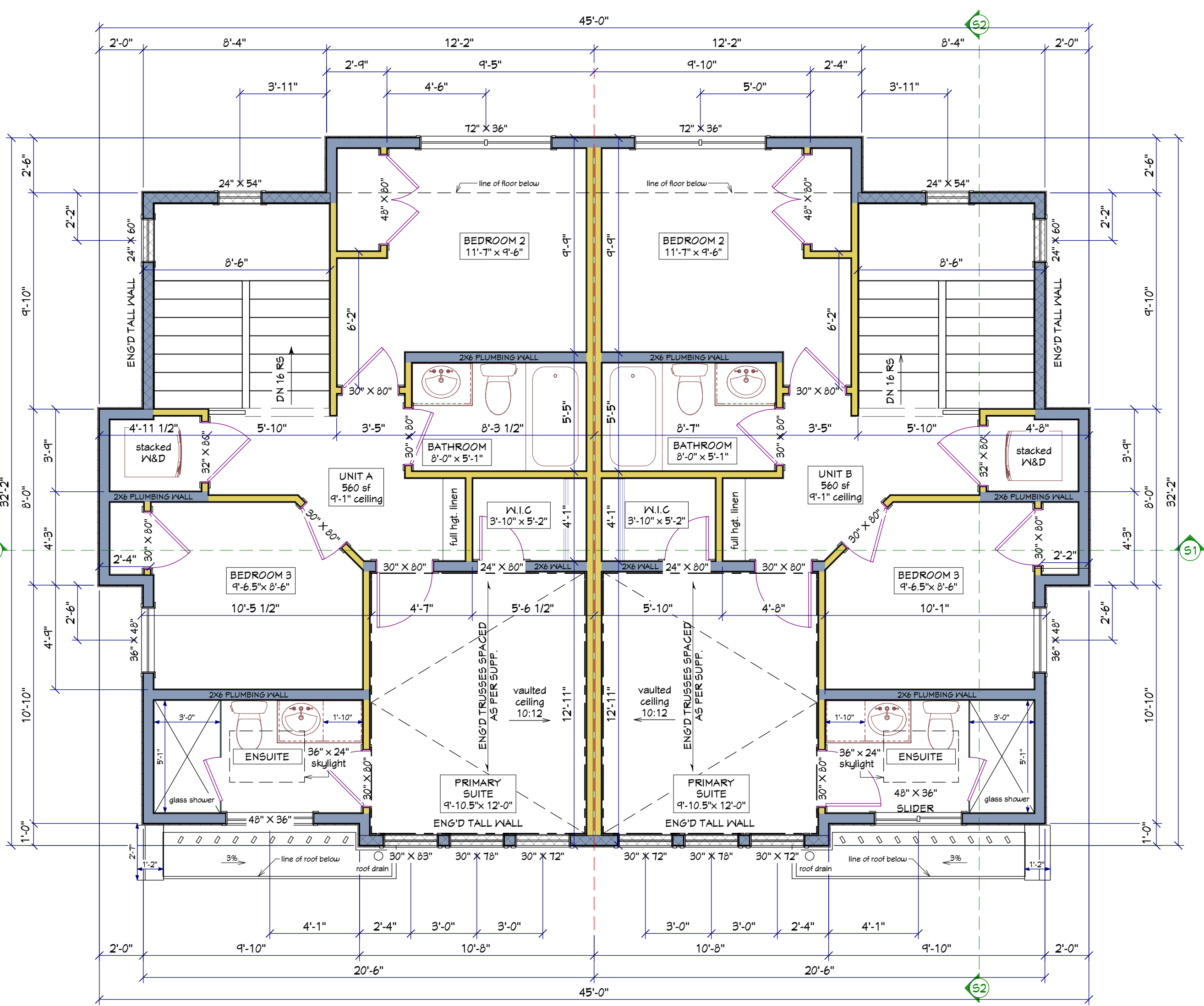
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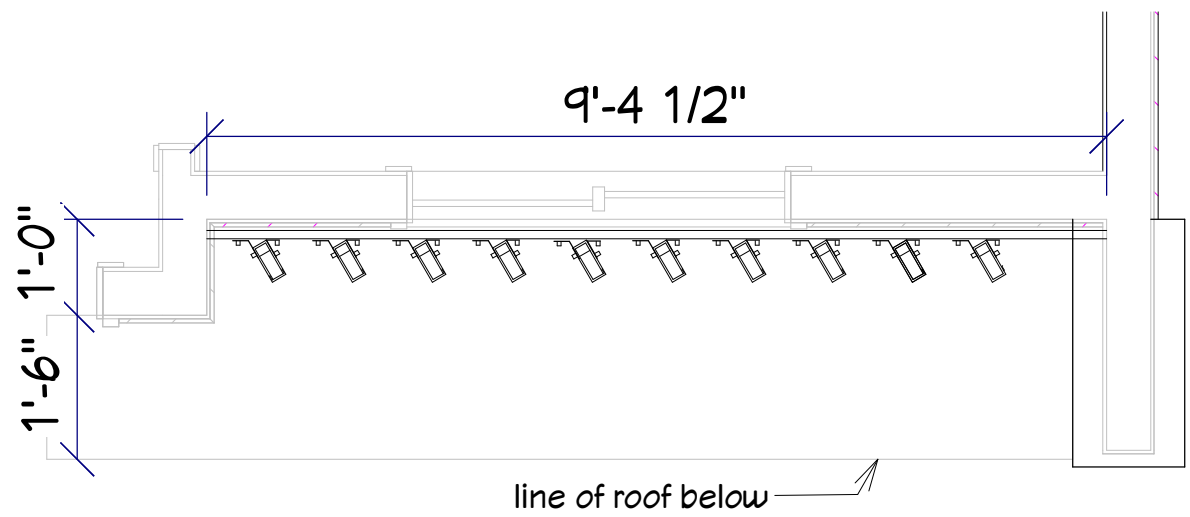
MAIN FLOOR PLAN BLDG 1

SCALE: 1/4" = 1'-0"



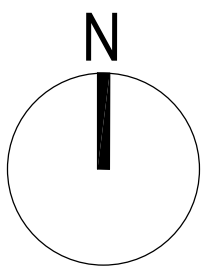
UPPER FLOOR PLAN BLDG 1

SCALE: 1/4" = 1'-0"



LOUVRES ENLARGED PLAN

SCALE: 1/2" = 1'-0"



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SCALE
3/16" = 1'-0"

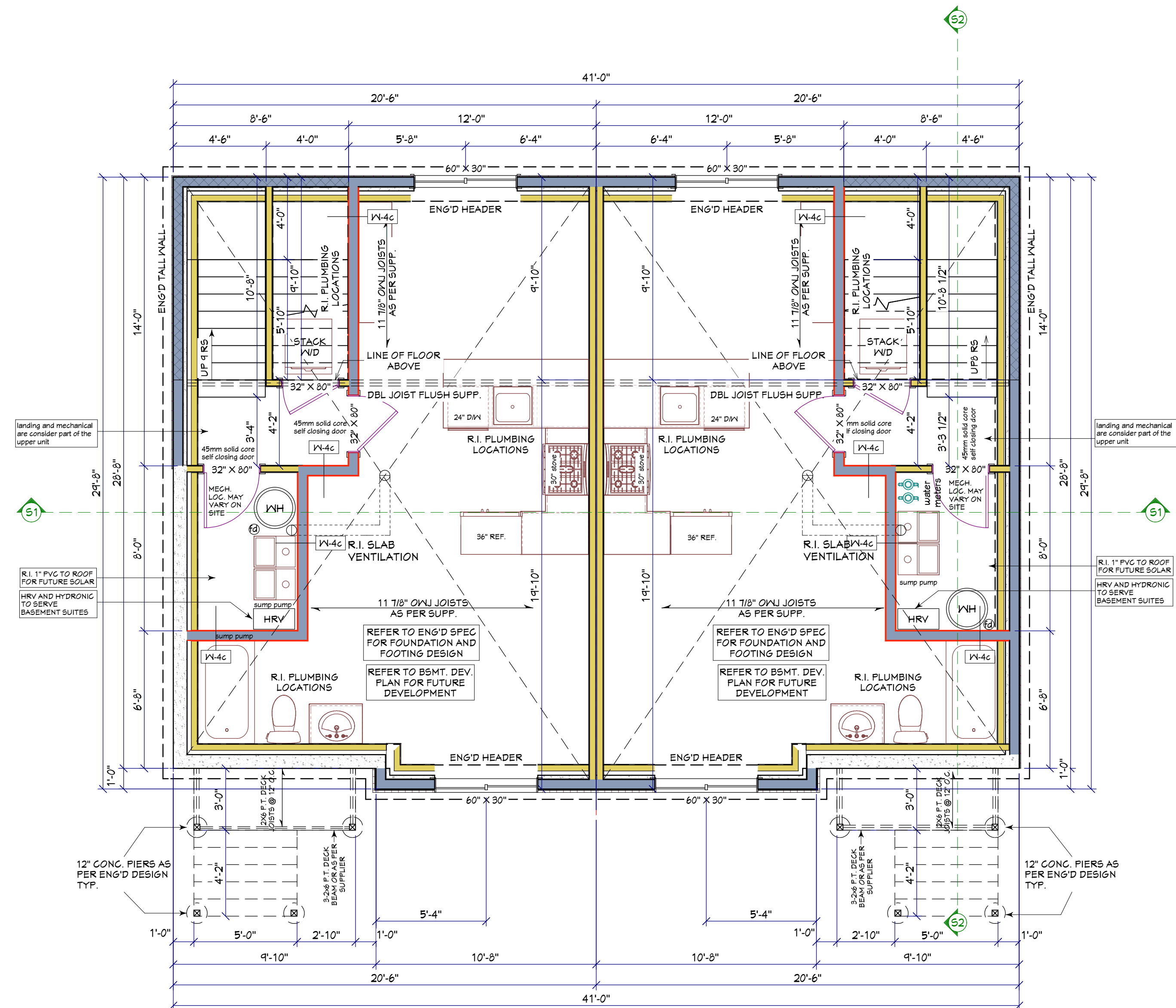
TITLE
FOUNDATION &
BASEMENT DEV. PLANS

ZONING R-CG
PAGE

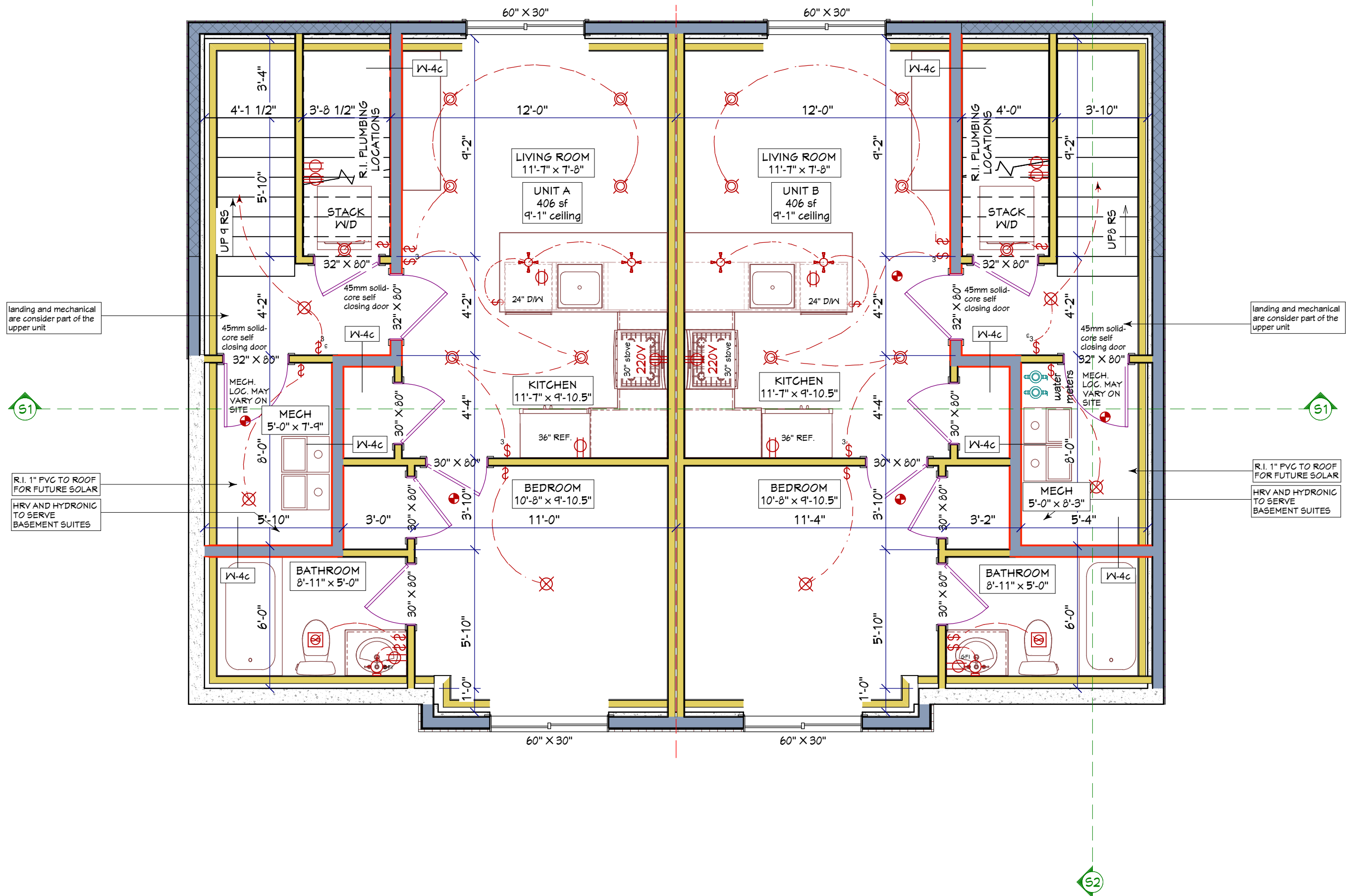
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FOUNDATION PLAN BLDG 1
SCALE: 1/4" = 1'-0"



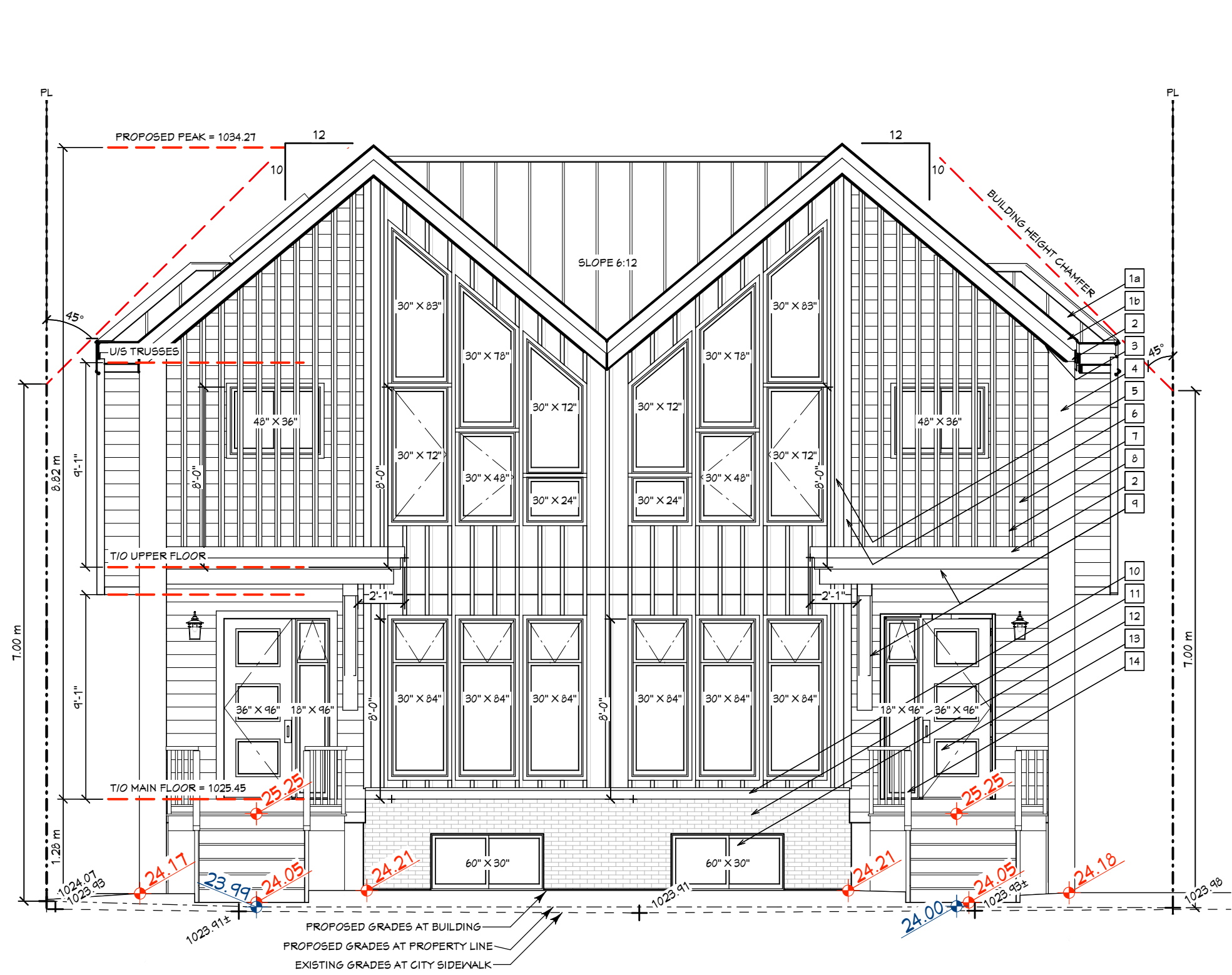
BASEMENT DEV. PLAN BLDG 1
SCALE: 1/4" = 1'-0"

ELECTRICAL KEY	
110V OUTLET	CEILING LIGHT
210V OUTLET	PENDANT LIGHT
EXHAUST FAN	WALL-MOUNTED LIGHT
CABINET UNDERMOUNT	RECESSED POT LIGHT
INTERCONNECTED SMOKE ALARM & CO DETECTOR	EYEBALL POT LIGHT
MOTION SENSOR LIGHT	PUCK LIGHT
FLUORESCENT	STAIR RISER LIGHT
	PULL CHAIN LIGHT

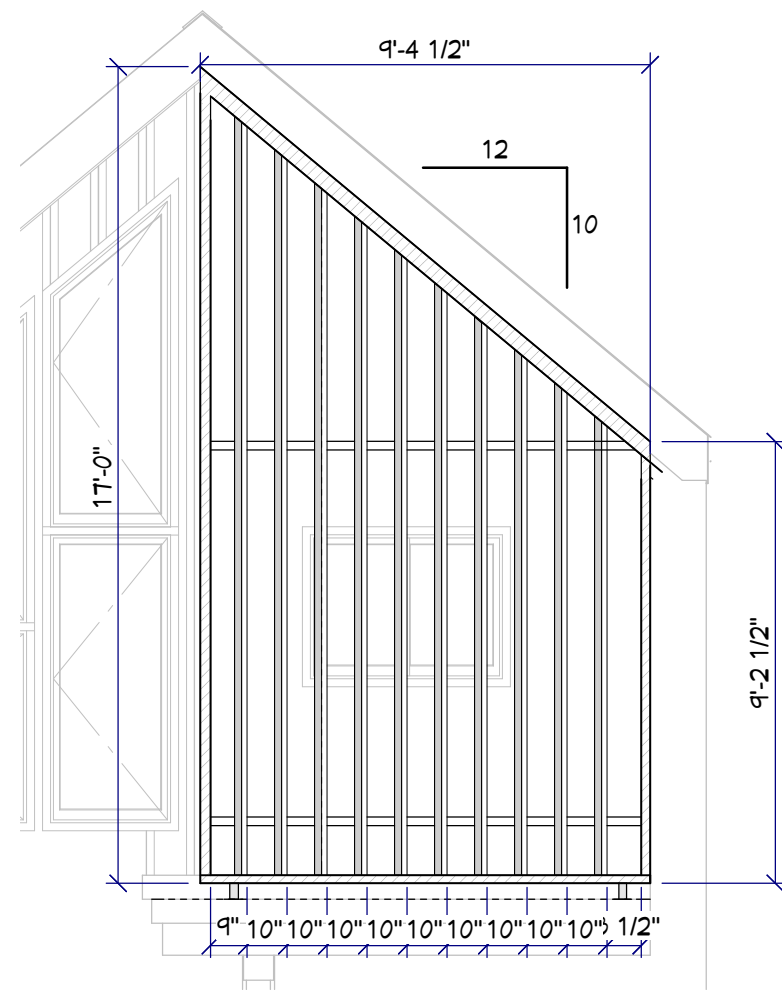
ALL GATS, RG6, IN-HOME SPEAKER, INTERCOM, & HOME THEATRE WIRING TO BE DETERMINED WITH SUPPLIER.

SUPPLIER TO CO-ORDINATE WITH ELECTRICIAN TO ENSURE SUFFICIENT ELECTRICAL RECEPTACLES PROVIDED AT THE ABOVE LOCATIONS.

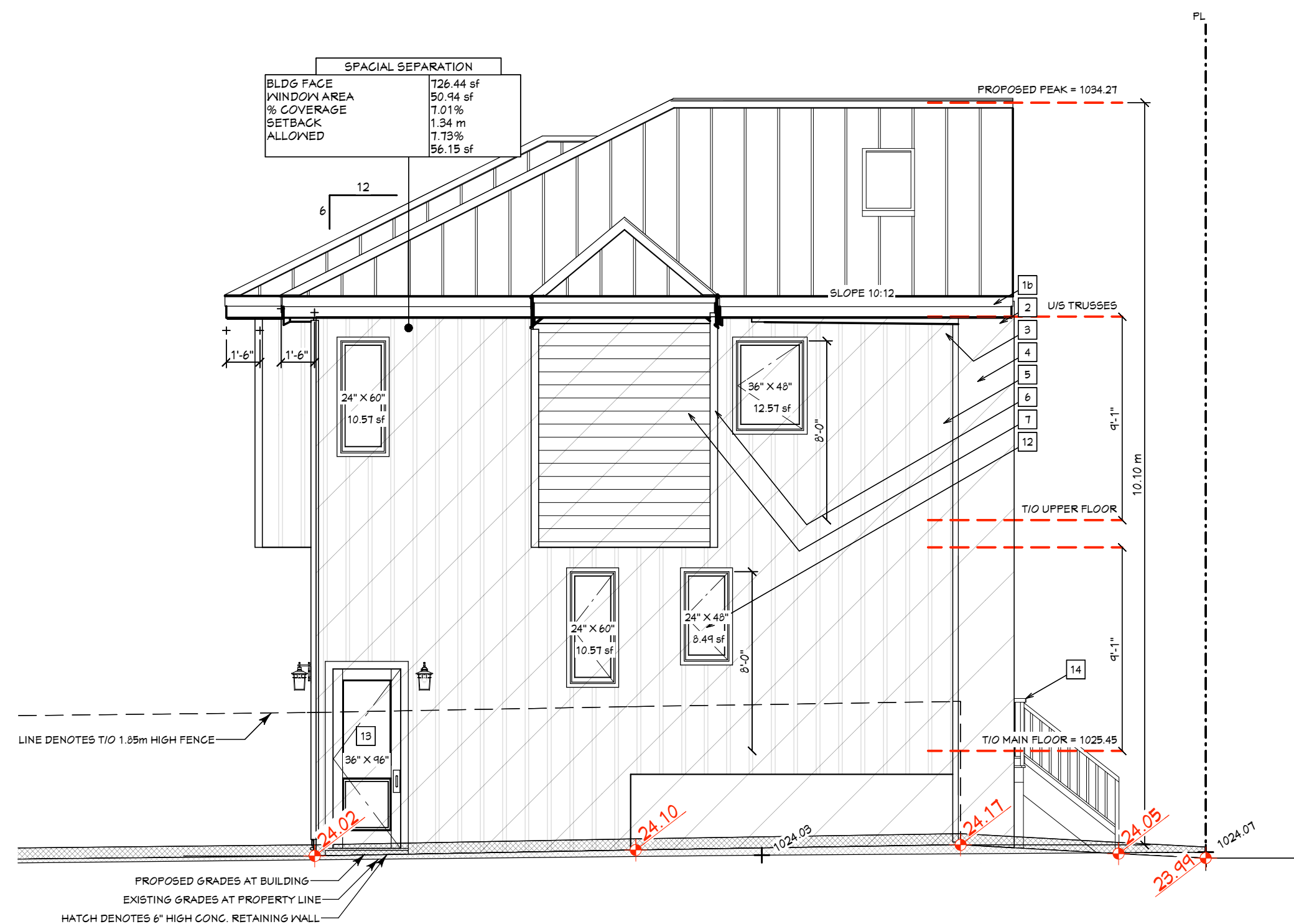
ONLY RECEPTACLES DEDICATED OR SPECIFIED BY HOMEOWNER HAVE BEEN SHOWN. ALL REMAINING RECEPTACLES TO BE LOCATED AS REQUIRED BY CURRENT ELECTRICAL CODE.



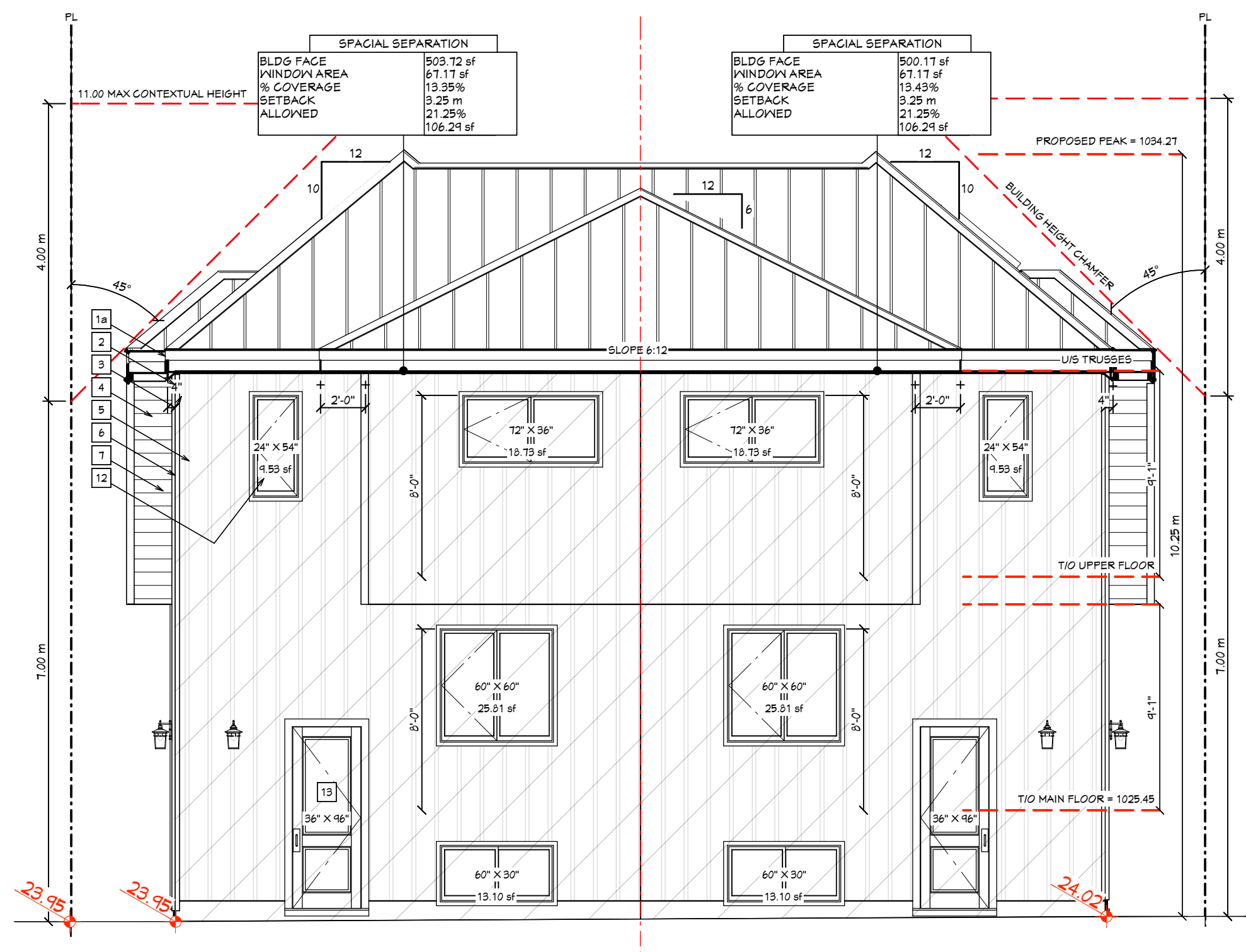
ELEV. - EAST - BUILDING 1 FRONT
SCALE: 3/16"=1'-0"



ELEV. - LOUVRES ENLARGED VIEW
SCALE: 1/4"=1'-0"

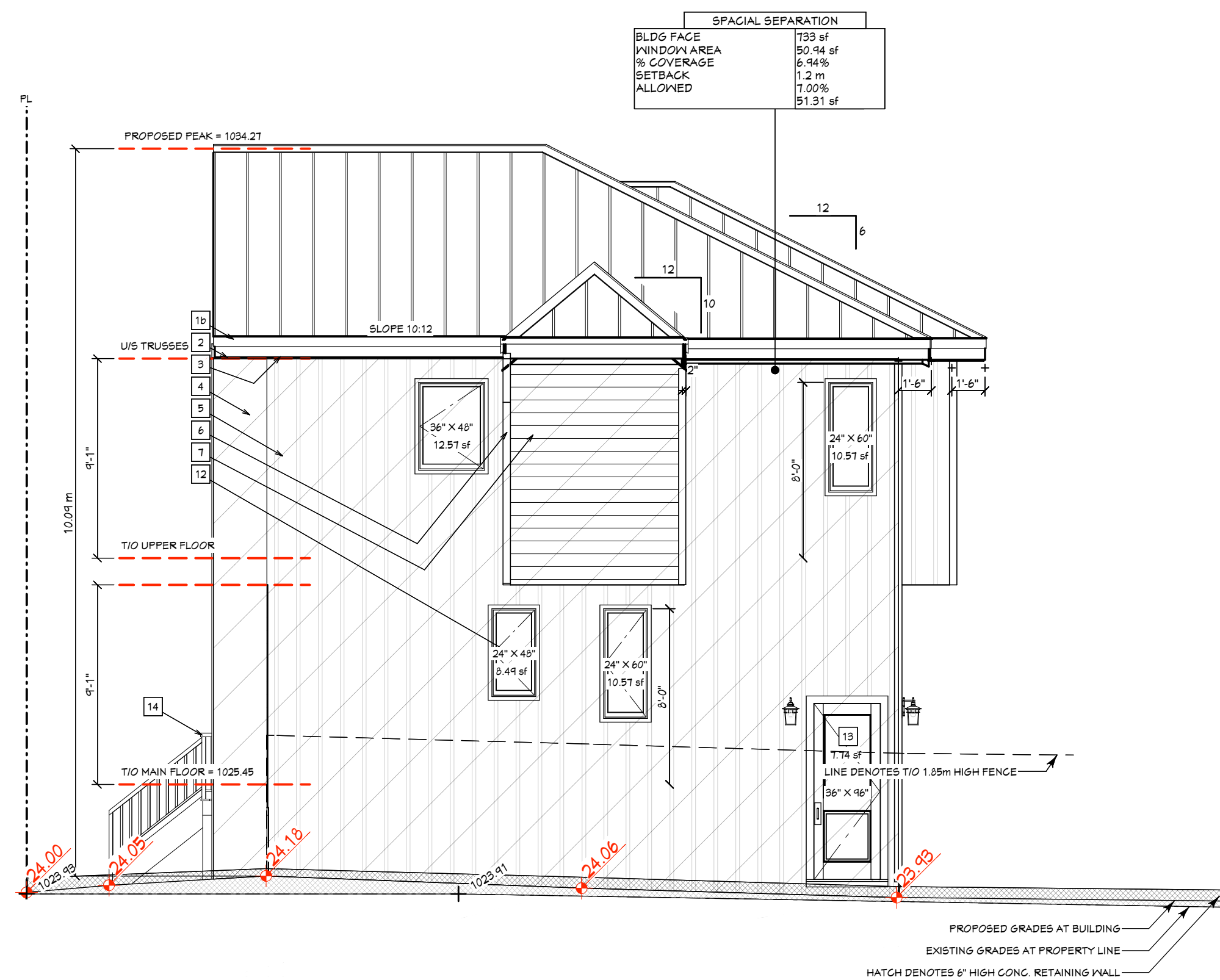


ELEV. - SOUTH
SCALE: 3/16"=1'-0"



ELEV. - WEST - BUILDING 1 REAR
SCALE: 3/16"=1'-0"

EXTERIOR GLADDING SCHEDULE	
1a	ASPHALT ROOFING
1b	METAL SEAM ROOFING
2	ALUMINUM FASCIA
3	T&G FINISHED VENTED ALUMINUM SOFFIT
4	ALUMINUM CAP
5	VERTICAL BOARD & BATTEN
6	4" CORNER BOARD
7	HORIZONTAL SIDING
8	ALUMINUM VERTICAL FINS YV. TIMBER FINISH
9	P.T. TIMBER BEAM/BRACKETS
10	STONE CAP
11	STONE VENEER
12	VINYL CLAD WINDOWS
13	FIBREGLOSS DOOR
14	RAILING
15	STEEL GARAGE DOOR



ELEV. - NORTH
SCALE: 3/16"=1'-0"

RESPONSIBILITIES

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Pricing Set - Detail Update	03.28.25
BP Set	04.24.25
BP Set 1.01	06.19.25

AREAS

TOTAL GROSS FLOOR AREA	S.F.
#102 7425 UNIT A1	TOTAL 1243
MAIN	598
UPPER	645
#102B SUITE A2	404
#101 7425 UNIT B1	TOTAL 1243
MAIN	598
UPPER	645
#101B SUITE B2	404
#202 7425 UNIT C1	TOTAL 1221
MAIN	588
UPPER	633
#202B SUITE C2	395
#201 7425 UNIT D1	TOTAL 1221
MAIN	588
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#201B SUITE D2	395

STREET ADDRESS

#101 & #102 7425 20 St. SE

LEGAL ADDRESS

LOTS 12 & 13, BLOCK 8, PLAN 955AV

PROJECT

OGDEN MID-BLOCK DEVELOPMENT
BUILDING 1

DESIGN/DRAWN: DK CHECKED: DK

PROJECT # 23-3-CL-CN-036

SCALE

AS SHOWN

TITLE

ELEVATIONS

ZONING

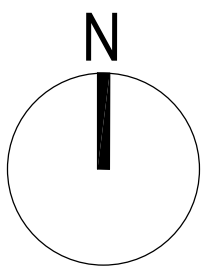
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PROJECT # 23-3-CL-CN-036

SCALE

3/16" = 1'-0"

TITLE

ELECTRICAL PLANS

ZONING

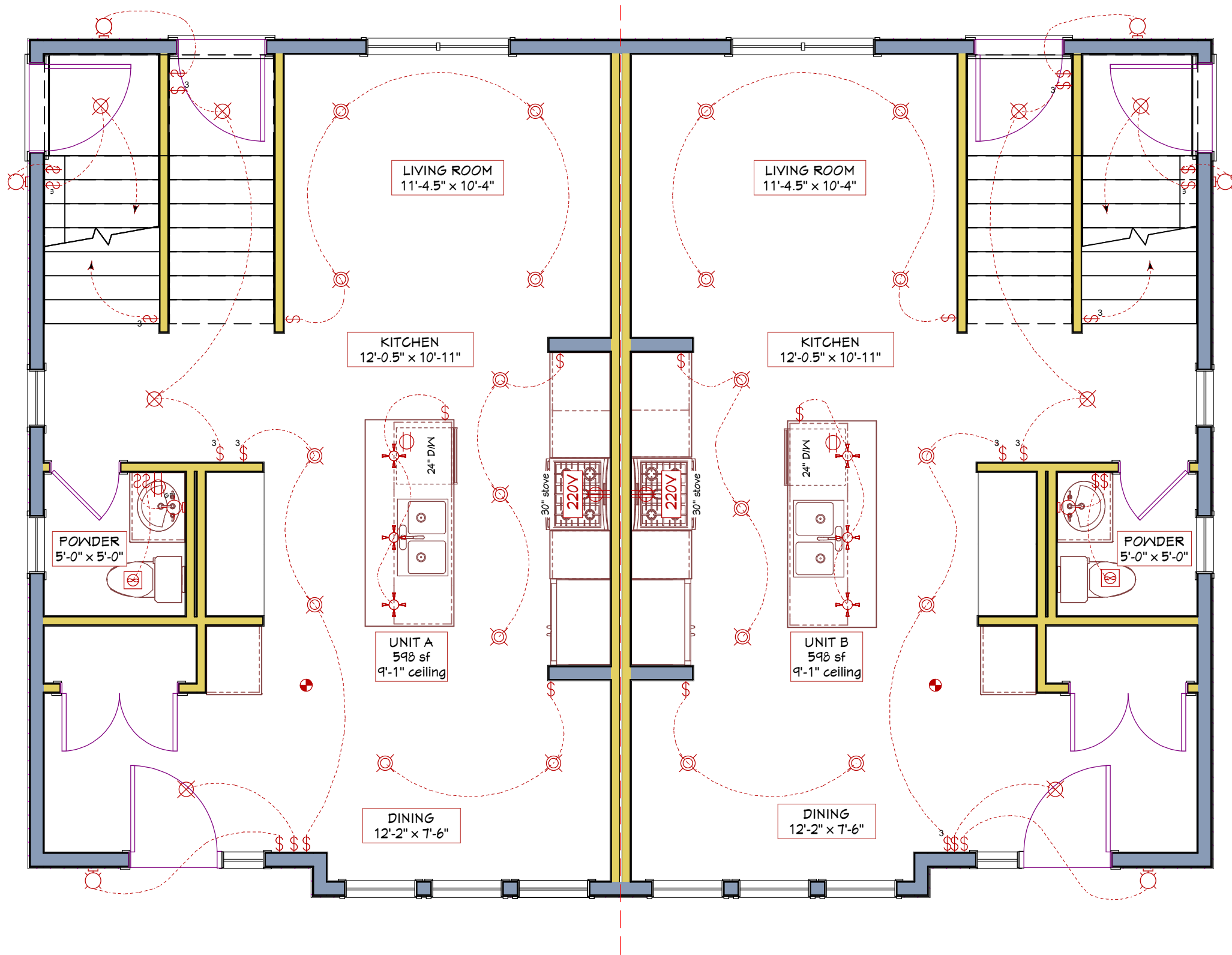
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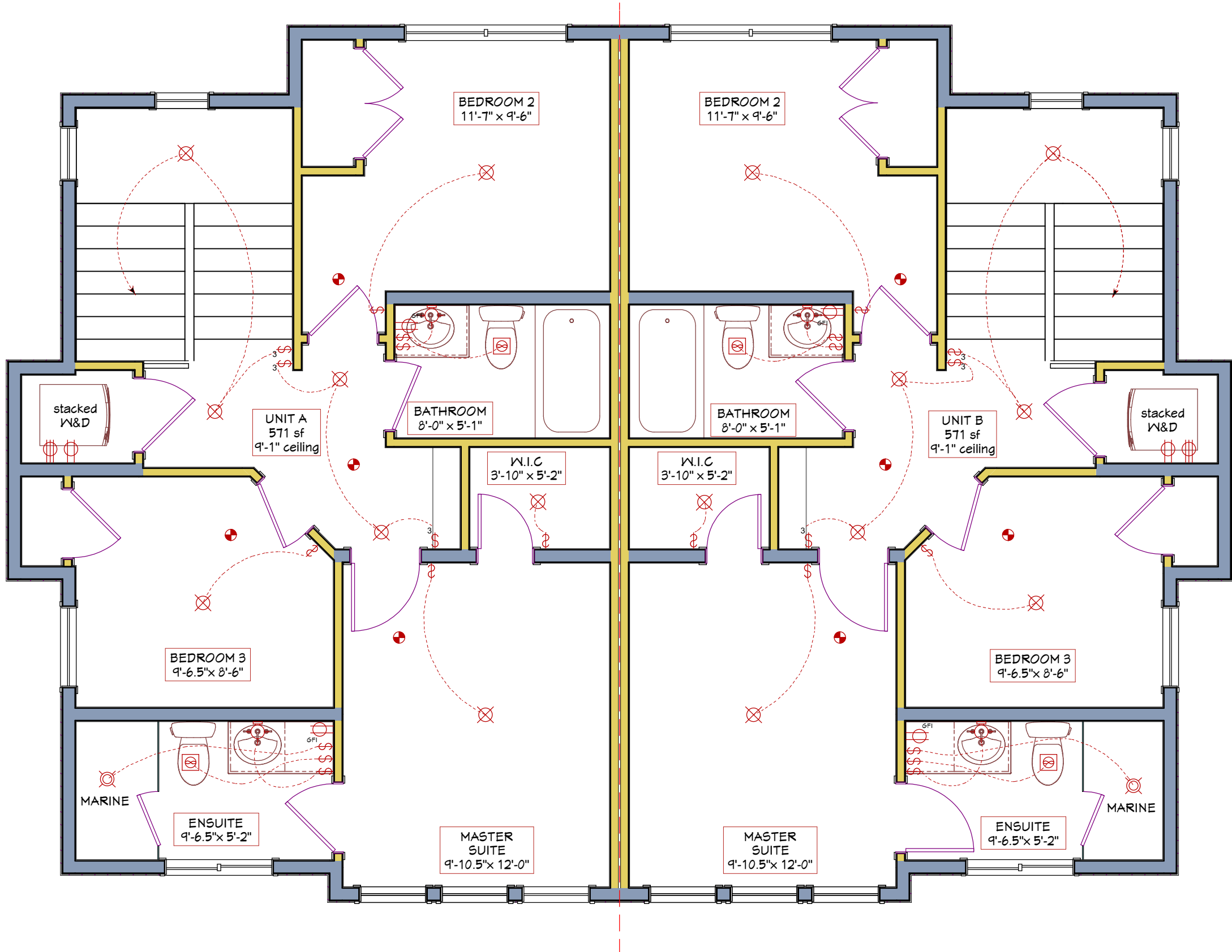
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MAIN FLOOR ELECTRICAL BLDG 1
SCALE: 3/16" = 1'-0"



UPPER FLOOR ELECTRICAL BLDG 1
SCALE: 3/16" = 1'-0"

ELECTRICAL KEY

110V OUTLET	CEILING LIGHT
210V OUTLET	PENDANT LIGHT
EXHAUST FAN	WALL-MOUNTED LIGHT
CABINET UNDERMOUNT	RECESSED POT LIGHT
INTERCONNECTED SMOKE ALARM & CO DETECTOR	EYEBALL POT LIGHT
MOTION SENSOR LIGHT	PUCK LIGHT
FLUORESCENT	STAIR RISER LIGHT
	PULL CHAIN LIGHT

ALL CAT5, RG6, IN-HOME SPEAKER, INTERCOM, & HOME THEATRE WIRING TO BE DETERMINED WITH SUPPLIER.

SUPPLIER TO CO-ORDINATE WITH ELECTRICIAN TO ENSURE SUFFICIENT ELECTRICAL RECEPTACLES PROVIDED AT THE ABOVE LOCATIONS.

ONLY RECEPTACLES DEDICATED OR SPECIFIED BY HOMEOWNER HAVE BEEN SHOWN. ALL REMAINING RECEPTACLES TO BE LOCATED AS REQUIRED BY CURRENT ELECTRICAL CODE.

CONSTRUCTION NOTES KEY

ALL Rsi VALUES AS PER NBC:AE2023 A-9.36.2.4.(1)D. UNLESS NOTED OTHERWISE

HEAT RECOVERY VENTILATION SYSTEM TO BE INSTALLED AS PER NBC:AE2023 9.36.3.9 AND 9.36.3.10 REQUIREMENTS.

ROOF, WALL, AND FLOOR ASSEMBLIES TO MEET OR EXCEED NBC:AE2023 CODE MINIMUMS OUTLINED IN NBC:AE2023 9.36.2.6.B. AND 9.36.2.8.B.

WINDOWS, DOORS, AND SKYLIGHTS TO MEET OR EXCEED NBC:AE2023 CODE MINIMUMS OUTLINED IN NBC:AE2023 9.36.2.7.A. AND 9.36.2.7.B. REFER TO MANUF. OR SUPPLIER WINDOW ORDER FOR SPECIFIC U-VALUES.

R-1a FRAMED ROOF (Rsi value)

- EXTERIOR AIR FILM (0.03)
- EXTERIOR ROOFING AS PER SPEC
- BUILDING PAPER
- 3/8" OSB SHEATHING WITH 1" CLIPS
- APPROVED WOOD TRUSSES @ 24" O.C. WITH RAISED HEEL AS PER ROOF SUPPLIER LAYOUT
- 16-1/2" LOOSE FILL GLASS FIBRE INSULATION (R44) (7.86)
- 3-1/2" LOOSE FILL GLASS FIBRE INSULATION (R9.5) (Rsi(c))
- OVERALL 20" INSULATION
- 6mil POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD CEILING
- INTERIOR AIR FILM (0.11)

Rsi(f) = 0.76 at 7%
Rsi(c) = 1.87 at 93%
Rsi(parallel) = 100 / ((7/0.76) + (93/1.87)) = 1.54
Total Effective Rsi Value = 9.62

Rsi VALUE AT EAVES TO BE MIN. 3.52.

W-1a EXTERIOR WALLS (Rsi value)

- EXTERIOR AIR FILM (0.03)
- EXTERIOR CLADDING AS PER SPEC
- BUILDING PAPER
- 3/8" OSB SHEATHING
- 2X6 #2 SPR STUDS @ 24" O.C. (Rsi(f))
- 5-1/2" BATT INSULATION (R22) (Rsi(c))
- 6mil POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- INTERIOR AIR FILM (0.12)

Rsi(f) = 1.19 at 20%
Rsi(c) = 3.87 at 80%
Rsi(parallel) = 100 / ((20/1.19) + (80/3.87)) = 2.87
Total Effective Rsi Value = 2.99

W-2a FOUNDATION WALLS (Rsi value)

- 8" CONCRETE FOUNDATION WALL C/W 2X6 LADDER SILL & 3 ROWS 2-10m BARS TOP, MID, & BOTTOM (refer to eng'd spec)
- 20X8" CONC. FOOTING C/W 2-SINGLE ROWS 10m BARS
- 1" AIR GAP
- 2X4 FURRED WALL OFFSET 2" @ 24" O.C. (0.18)
- 2" BATT INSULATION (1.41)
- 3-1/2" BATT INSULATION (Rsi(f))
- OVERALL 5-1/2" INSULATION (R22) (Rsi(c))
- 6mil POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD
- INTERIOR AIR FILM (0.12)

Rsi(f) = 0.76 at 20%
Rsi(c) = 2.46 at 80%
Rsi(parallel) = 100 / ((20/0.76) + (80/2.46)) = 1.70
Total Effective Rsi Value = 3.57

W-2d FROST WALLS

- 8" CONCRETE FOUNDATION WALL C/W 2X6 LADDER SILL & 3 ROWS 2-10m BARS TOP, MID, & BOTTOM (refer to eng'd spec)
- 20X8" CONC. FOOTING C/W 2-SINGLE ROWS 10m BARS MIN. 48" BELOW GRADE

W-3a PARTY WALL (FRAMED) 1hr FRR

- 5/8" TYPE-X GYPSUM BOARD
- 2X4 #2 SPR STUDS @ 16" O.C. WITH 4" ABSORBATIVE MATERIAL
- 1" AIR GAP
- 2X4 #2 SPR STUDS @ 16" O.C. STAGGERED
- 2-LAYERS 5/8" TYPE-X GYPSUM BOARD

AS PER NBC:AE2023 A-9.10.3.1.A. Wall W14c: FRR RATING 1h, TYPICAL STC 57

W-4a INTERIOR LOAD-BEARING WALLS

- 1/2" GYPSUM BOARD
- 2X4, 2-2X4, 2X6, 2-2X6, 2X8 #2 SPR STUDS @ 16" O.C.
- AS NOTED ON FLOORPLAN, UNLESS ENG'D
- 1/2" GYPSUM BOARD

W-4b INTERIOR PARTITION WALLS

- 1/2" GYPSUM BOARD
- 2X4, 2-2X4, 2X6, 2-2X6, 2X8 #2 SPR STUDS @ 16" O.C.
- AS NOTED ON FLOORPLAN
- 1/2" GYPSUM BOARD

W-4c SEPARATION WALLS

- 1/2" GYPSUM BOARD
- 2X6 #2 SPR STUDS @ 16" O.C.
- R20 BATT INSULATION
- 6mil POLY VAPOUR BARRIER
- 1/2" TYPE-X GYPSUM BOARD
- TAPE AND SEAL ALL JOINTS TO BE GAS IMPERMEABLE

F-1a FRAMED FLOOR

- FINISH AS PER SPEC
- 3/4" T&G OSB SUBFLOOR, NAILED, SCREWED, GLUED
- ENG'D FLOOR JOISTS SIZE, SPACING, AND LOCATION AS PER FLOOR SUPPLIER LAYOUT
- 1/2" GYPSUM BOARD CEILING WHERE APPLICABLE

F-1b FRAMED FLOOR OVER UNCONDITIONED SPACE (R si value)

- INTERIOR AIR FILM (0.16)
- FINISH AS PER SPEC
- 3/4" T&G OSB SUBFLOOR, NAILED, SCREWED, GLUED (0.19)
- ENG'D FLOOR JOISTS SIZE, SPACING, AND LOCATION AS PER FLOOR SUPPLIER LAYOUT (Rsi(f))
- 6" 2lb SPRAY FOAM INSULATION (R31) (Rsi(c))
- 6mil POLY VAPOUR BARRIER
- VENTED SOFFIT

Rsi (f) = 2.58 at 9% (I-JOISTS @ 16" O.C.)
Rsi (c) = 5.47 at 91%
Rsi(parallel) = 100 / ((9/2.58) + (91/5.47)) = 4.97
Total Effective Rsi Value = 5.32

Rsi (f) = 2.58 at 7.5% (I-JOISTS @ 19.2" O.C.)
Rsi (c) = 5.47 at 92.5%
Rsi(parallel) = 100 / ((7.5/2.58) + (92.5/5.47)) = 5.05
Total Effective Rsi Value = 5.40

OR

- INTERIOR AIR FILM (0.16)
- FINISH AS PER SPEC
- 3/4" T&G OSB SUBFLOOR, NAILED, SCREWED, GLUED (0.19)
- ENG'D FLOOR JOISTS SIZE, SPACING, AND LOCATION AS PER FLOOR SUPPLIER LAYOUT (Rsi(f))
- 12" BATT INSULATION (R40) (Rsi(c))
- 6mil POLY VAPOUR BARRIER
- VENTED SOFFIT

Rsi (f) = 2.58 at 9% (I-JOISTS @ 16" O.C.)
Rsi (c) = 7.04 at 91%
Rsi(parallel) = 100 / ((9/2.58) + (91/7.04)) = 6.09
Total Effective Rsi Value = 6.44

Rsi (f) = 2.58 at 7.5% (I-JOISTS @ 19.2" O.C.)
Rsi (c) = 7.04 at 92.5%
Rsi(parallel) = 100 / ((7.5/2.58) + (92.5/7.04)) = 6.23
Total Effective Rsi Value = 6.58

F-1d FLOOR SEPERATION AT SUITES

- FINISH AS PER SPEC
- 3/4" T&G OSB SUBFLOOR, NAILED, SCREWED, GLUED
- ENG'D FLOOR JOISTS SIZE, SPACING, AND LOCATION AS PER FLOOR SUPPLIER LAYOUT
- ABSORPTIVE MATERIAL IN JOIST CAVITY NOT LESS THAN 150MM IN NOMINAL THICKNESS
- RESILIENT CHANNELS SPACED @ 600mm O.C.
- 1/2" GYPSUM BOARD
- TAPE & MUD BOARD FOR AIR TIGHT SMOKE BARRIER

AS PER NBC:AE2023 A-9.10.3.1.B. Floor F8i: FRR RATING <30m, STC 48, TYPICAL IIC 42

F-2a CONCRETE SLAB

- INTERIOR AIR FILM
- 4" CONCRETE SLAB min. 20 MPa WITH 10M REBAR E/W @ 24" O.C. UNLESS ENG'D. REFER TO SLAB VENTILATION DETAIL LOCATED MIN. 4'-0" BELOW FINISH GRADE
- 6mil POLY VAPOUR BARRIER
- 6mil POLY VAPOUR BARRIER
- DAMPROOFING AS REQ'D
- 6" COMPACTED GRAVEL

F-2b CONCRETE SLAB (HEATED) (Rsi value)

- INTERIOR AIR FILM (0.16)
- " CONCRETE SLAB min. 20 MPa WITH 10M REBAR E/W @ 24" O.C. UNLESS ENG'D. REFER TO SLAB VENTILATION DETAIL
- RADIANT SLAB HEATING LAYOUT TO MECH. ENG'D SPEC

10 mil POLY VAPOUR BARRIER

" CONTINUOUS EXPANDED POLYSTYRENE INSULATION (R16)

TO BE CONFIRMED BY MECH. ENG.

AMPROOFING AS REQ'D

" COMPACTED GRAVEL

Total Effective Rsi Value = 3.04

FRAMING HEADER NOTES

FRAMERS - 2x10 HEADERS

Provide minimum 2-2X10 #2SPF Headers & Lintels in load bearing openings not to exceed:

EXTERIOR WALLS

2.39m (94") Roof only.

1.35m (76") Roof & One Floor

INTERIOR WALLS

1.92m (74") Roof only

1.35m (53") Roof & One Floor

FRAMERS - 2x8 HEADERS

Provide minimum 2-2X8 #2 SPF Headers & Lintels in load bearing openings not to exceed:

EXTERIOR WALLS

1.95m (76") Roof only.

1.61m (64") Roof & One Floor

INTERIOR WALLS

1.58m (62") Roof only

1.12m (44") Roof & One Floor

For Areas where snow load does not exceed 1.5 kPa (Calgary, Cochrane, HighRiver, Okotoks, Airdrie, Strathmore)

ROOF & FLOOR SYSTEM SUPPLIER

MINIMUM HEEL HEIGHTS

4/12 OR GREATER:

MIN. 9" HEEL HEIGHT

3/12:

MIN. 9" HEEL HEIGHT

2/12:

MIN. 14" HEEL HEIGHT

GENERAL CONSTRUCTION NOTES

CAULKING GENERAL NOTE: (refer to NBC:AE2023 9.7.4., 9.20.13.12., 9.28.1.5.)

- CAULKING SHALL BE PROVIDED WHERE REQUIRED TO PREVENT THE ENTRY OF WATER INTO THE STRUCTURE.
- CAULKING SHALL BE PROVIDED BETWEEN MASONRY, SIDING/STUCCO AND ADJACENT DOOR AND WINDOW FRAMES / TRIM, INCLUDING SILLS.
- CAULKING SHALL BE PROVIDED AT VERTICAL JOINTS BETWEEN DIFFERENT CLADDING MATERIALS, UNLESS JOINT IS FLASHED, TO PREVENT ENTRY OF RAIN

WALL SHEATHING GENERAL NOTE: (refer to NBC:AE2023 9.23.16)

- ENSURE A GAP OF MIN. 2mm, (3mm Best Practice) AT ALL JOINTS BETWEEN SHEETS OF WALL SHEATHING MATERIAL

FLASHING GENERAL NOTE: (refer to NBC:AE2023 9.3.3.2., 9.27.3.)

- FLASHING SHALL BE INSTALLED AT EVERY HORIZONTAL JUNCTION BETWEEN TWO EXTERIOR FINISHES EXCEPT WHERE AN UPPER FINISH OVERLAPS A LOWER FINISH.
- FLASHING SHOULD BE INSTALLED OVER ALL EXTERIOR WALL OPENINGS INCLUDING MECHANICAL PENETRATIONS INCLUDING VENTS, PIPES, ETC.
- CIRCULAR PENETRATIONS SHOULD BE INSTALLED THROUGH BATTEN MATERIAL AND CAULKED. BATTEN MATERIAL IS THEN FLASHED.
- FLASHING TO HAVE A MINIMUM SLOPE OF 6% (3/4" : 12' SLOPE)

WALL SHEATHING MEMBRANE GENERAL NOTE: (refer to NBC:AE2023 9.23.17)

- AT LEAST ONE LAYER (2 Layers Best Practice) SHALL BE INSTALLED BENEATH SIDING, STUCCO & MASONRY VENEER.
- MEMBRANE SHOULD BE INSTALLED HORIZONTALLY FROM BOTTOM UP SO SUCCESSIVE UPPER LAYERS OVERLAP LOWER LAYERS.
- OVERLAP SHALL BE MIN. 4" (6" Best Practice)

GENERAL DESIGN AND DRAFTING NOTES

ENGINEERING AND STRUCTURE

- EXTERIOR DIMENSIONS ARE TYPICALLY SHOWN TO OUTSIDE FACE OF STRUCTURE AND CENTER OF BEAM UNLESS NOTED OTHERWISE
- ALL EXTERIOR WOOD IN CONTACT WITH THE GROUND OR CONCRETE SHALL BE PRESSURE TREATED
- ENGINEERED ROOF AND FLOOR SYSTEMS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS
- ALL BUILT-UP WOOD POSTS TO BE FULL WIDTH OF SUPPORTED MEMBER
- STRUCTURAL BEAMS, POSTS, AND FOOTINGS INDICATED ARE GUIDELINES ONLY. FINAL STRUCTURAL BEAMS, POSTS, AND FOOTINGS TO BE SPECIFIED BY ENGINEER.

DOORS, WINDOWS, AND OPENINGS

- WINDOWS AND DOORS NOTED IN PLANS ARE NOMINAL DIMENSIONS. ROUGH OPENING DIMENSIONS PROVIDED BY WINDOW AND DOOR SUPPLIER.
- ANY DOOR BETWEEN A GARAGE AND DWELLING TO BE SELF-CLOSING AND WEATHERSTRIPPED AS PER NBC:AE2023 9.10.13.15.
- ATTIC ACCESS TO BE WEATHERSTRIPPED AND INSULATED AS PER NBC:AE2023 9.19.1. REFER TO DETAIL.

MECHANICAL, ELECTRICAL, PLUMBING

- EXACT LOCATIONS OF MECHANICAL, ELECTRICAL, AND PLUMBING MAY VARY ON SITE
- SMOKE AND CARBON MONOXIDE DETECTORS INSTALLED AS PER NBC:AE2023 9.10.18.

GENERAL CONSTRUCTION

- STEP FOOTINGS TO MAINTAIN MIN. 48" FROST COVERAGE, WHERE EACH STEP IS A MAXIMUM 24" VERTICAL RISE AND MINIMUM 24" HORIZONTAL RUN.
- HANDRAILS AND RAILING TO BE PROVIDED FOR ALL STAIRS AS PER NBC:AE2023 9.8.7.
- ALL WALLS AND CEILINGS OF AN ATTACHED GARAGE TO BE TAPED, DRYWALLED, VAPOUR BARRIERED, AND INSULATED
- AS PER NBC:AE2023 9.25.4., 9.34., & 9.35.4.
- AIR BARRIER SYSTEM TO BE INSTALLED, SEALED, AND AIRTIGHT AS PER NBC:AE2023 9.35.3. & 9.36.2.10. USING 6mil POLYETHYLENE WITH 2lb SPRAY FOAM AT JOIST ENDS AND CANTILEVERS.
- VAPOUR BARRIER SYSTEM TO BE INSTALLED, SEALED, AS PER NBC:AE2023 9.25.4. USING 6mil POLYETHYLENE UNLESS NOTED OTHERWISE.

BUILDING CODE FENESTRATION NOTE

NBC:AE2023 - Table 9.7.3.3., 9.36.2.7.A., & 9.36.2.7.B.

Max. U-value for windows/doors = 1.6.

Max. U-value for skylights = 2.7.

Calgary 2.5% January Design Temperature of -30 C.

Location: Calgary, AB

Product Height: 10m

Terrain Type: Rough

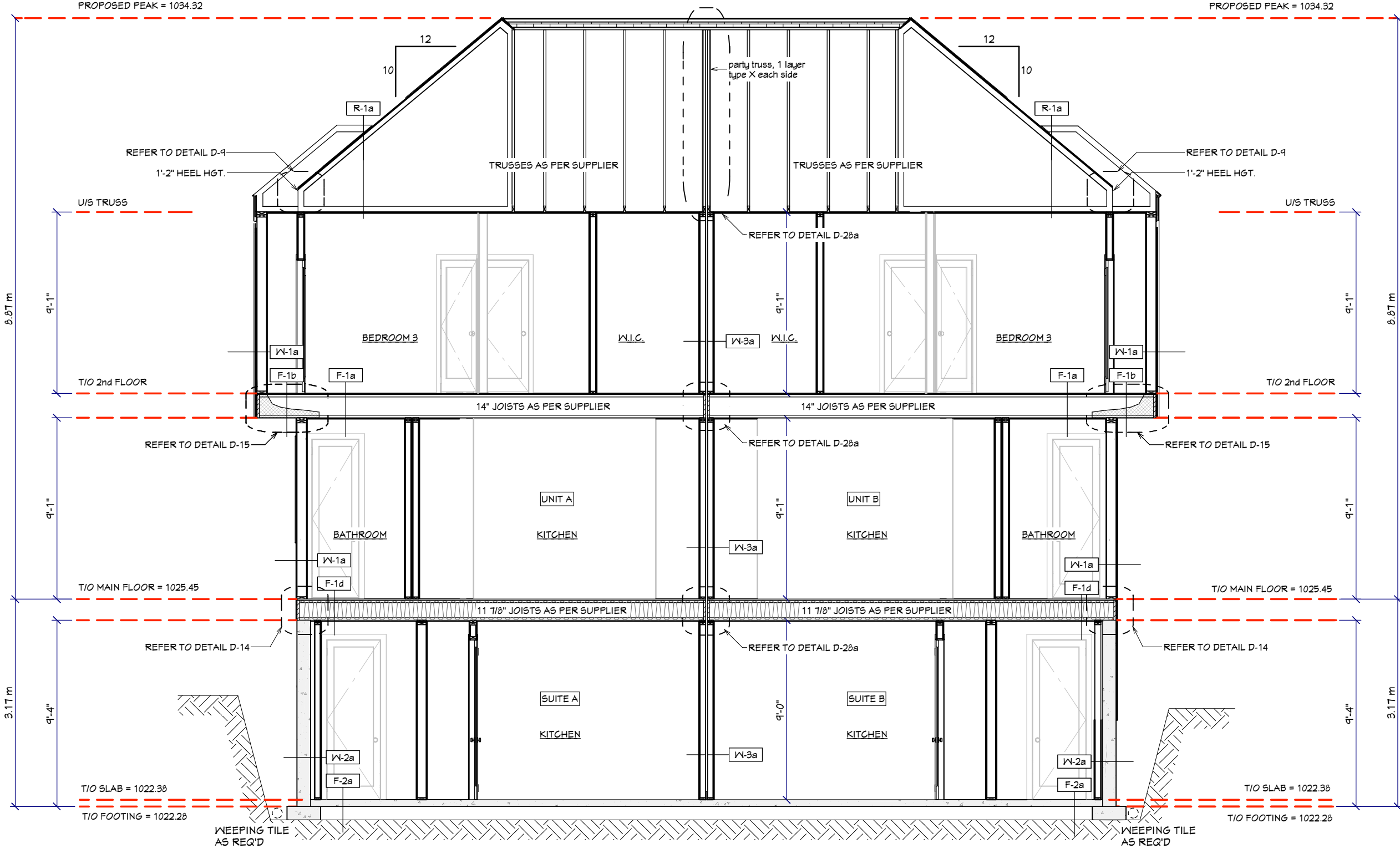
Min. Performance Grade (PG) = 25

Min. Positive Design Pressure = 1200 PA

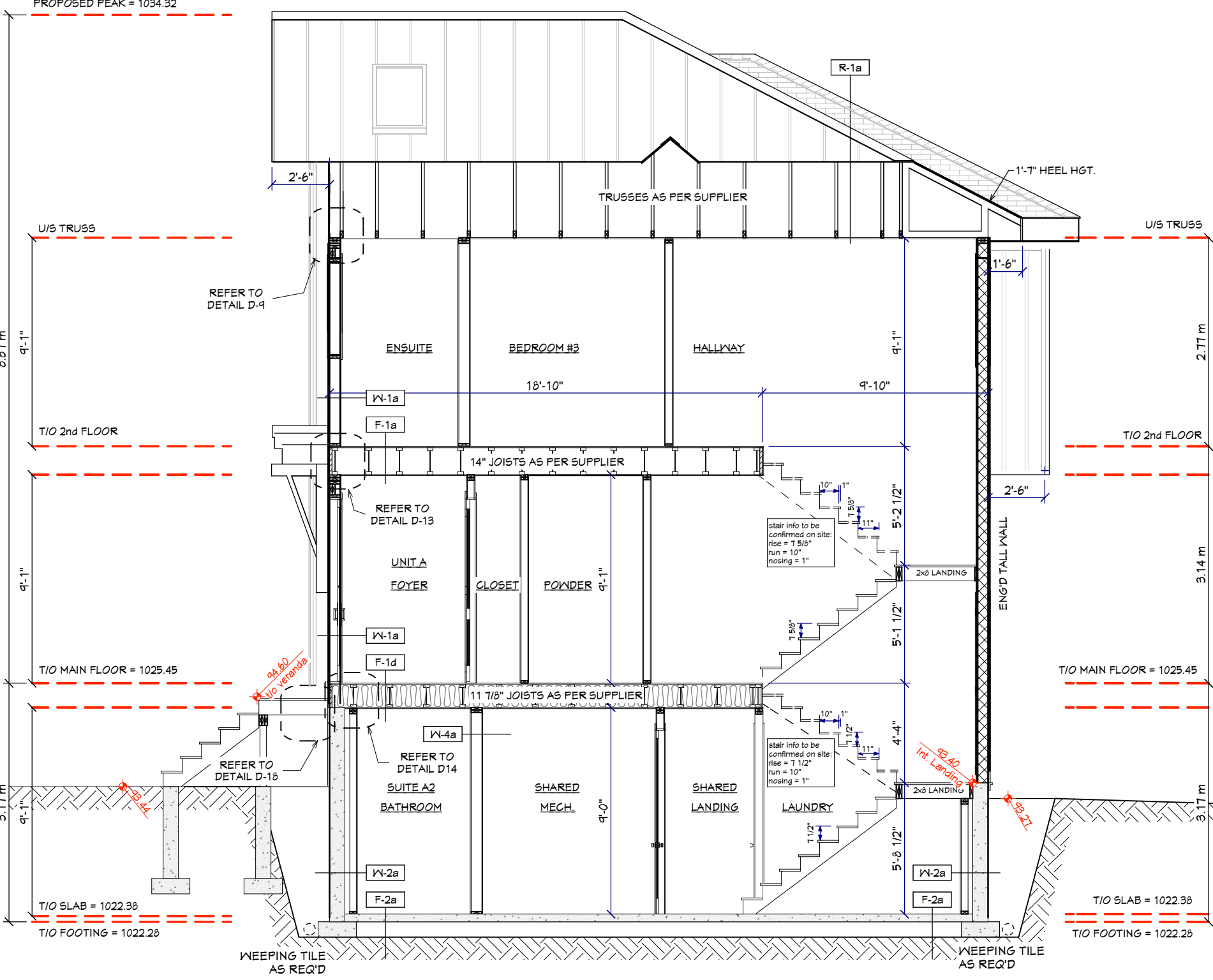
Min. Negative Design Pressure = 1200 PA

Min. Water Penetration Test Pressure = 260 PA

Min. Canadian air Infiltration / Exfiltration = A2



SECTION - S1
SCALE: 3/16" = 1'-0"



SECTION - S3
SCALE: 3/16" = 1'-0"

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BUILDING 1

DESIGN/DRAWN: DK

CHECKED: DK

PROJECT #

23-3-CL-CN-036

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SECTIONS & NOTES

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DP Submission	06.27.24
DTR Submission	10.09.24
DSSP Grade Updates	12.12.24
Pricing Set	01.17.25
Pricing Set - Detail Update	03.28.25
BP Set	04.24.25
BP Set 1.01	06.19.25

AREAS

TOTAL GROSS FLOOR AREA	S.F.
#102 7425 UNIT A1	TOTAL 1243
MAIN	598
UPPER	645
#102B SUITE A2	404
#101 7425 UNIT B1	TOTAL 1243
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UPPER	645
#101B SUITE B2	404
#202 7425 UNIT C1	TOTAL 1221
MAIN	588
UPPER	633
#202B SUITE C2	395
#201 7425 UNIT D1	TOTAL 1221
MAIN	588
UPPER	633
#201B SUITE D2	395

STREET ADDRESS

#101 & #102 7425 20 St. SE

LEGAL ADDRESS

LOTS 12 & 13, BLOCK 8, PLAN 955AV

PROJECT

OGDEN MID-BLOCK DEVELOPMENT
BUILDING 1

DESIGN/DRAWN: DK CHECKED: DK

PROJECT # 23-3-CL-CN-036

SCALE

AS NOTED

TITLE

SECTIONS & DETAILS

ZONING

R-CG

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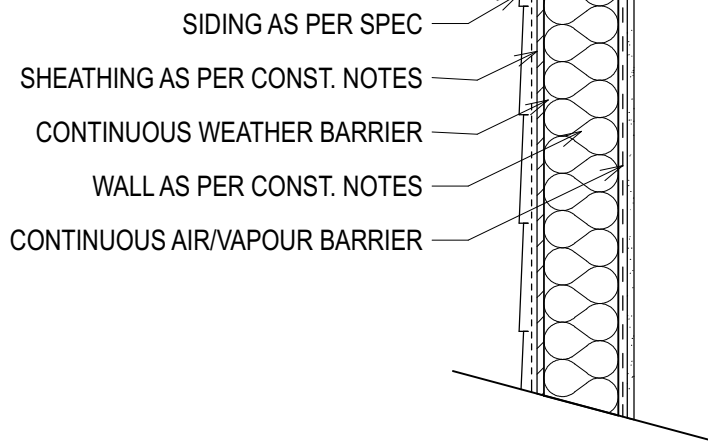
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2025-06-19

D-1 - TYP. EXTERIOR WALL WITH SIDING

FRAMED WALL CONSTRUCTION

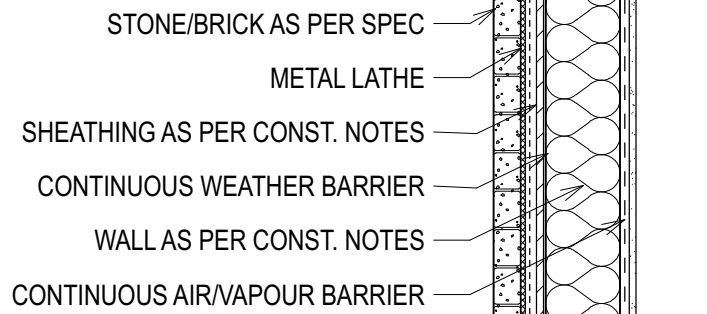
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D-2 - TYP. EXTERIOR WALL WITH STONE

FRAMED WALL CONSTRUCTION

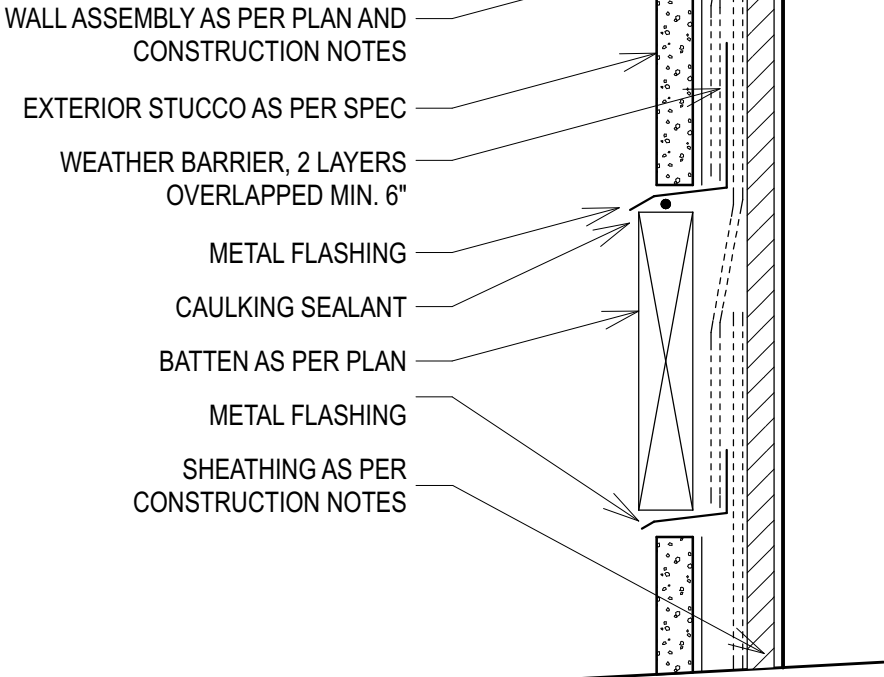
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NOTE: REFER TO MANUF. INSTALATION DETAILS

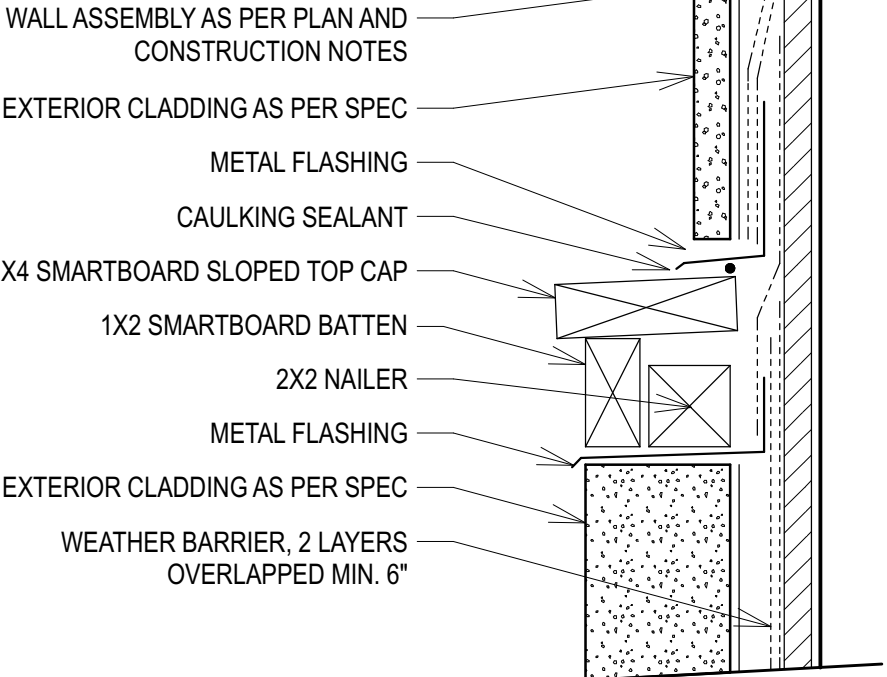
D-6 - BATTEN FLASHING DETAIL

N.T.S.



D-7 - STONE CAP BATTEN DETAIL

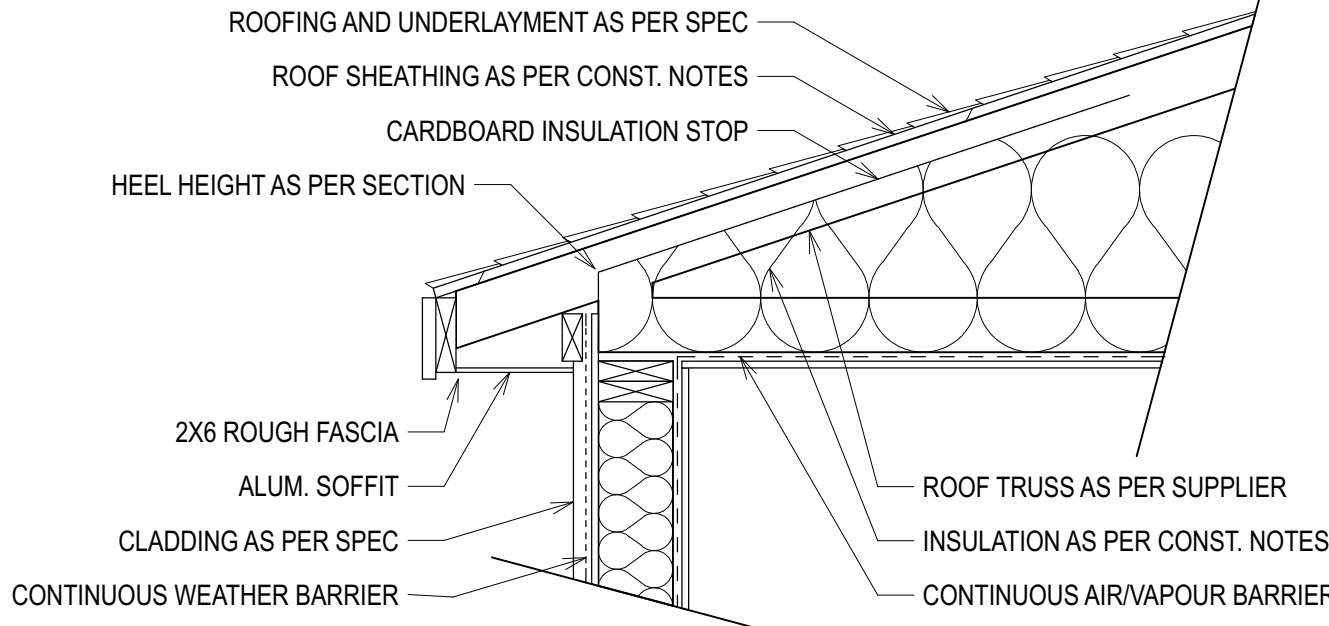
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D-9 - TYP. ROOF CONNECTION DETAIL

STANDARD SLOPE (4/12 - 6/12) ROOF WITH FRAMED WALL

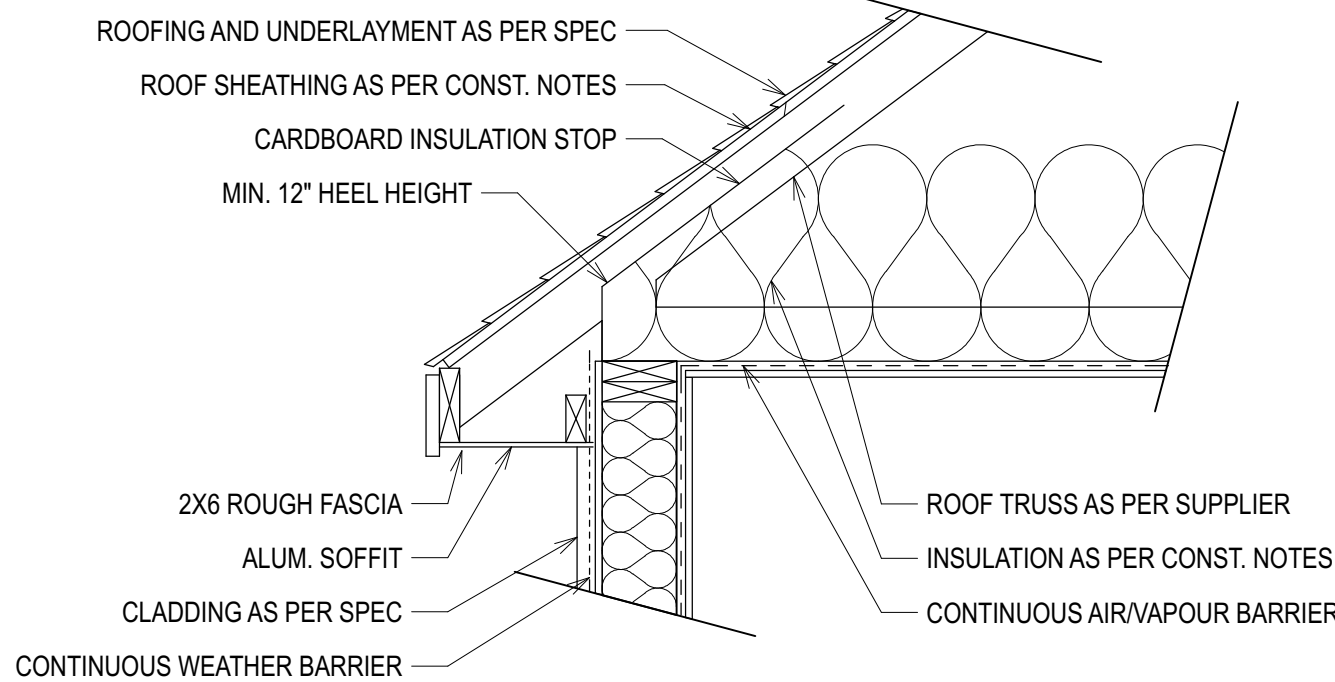
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D-10 - TYP. ROOF CONNECTION DETAIL

HIGH SLOPE (6.5/12 +) ROOF WITH FRAMED WALL

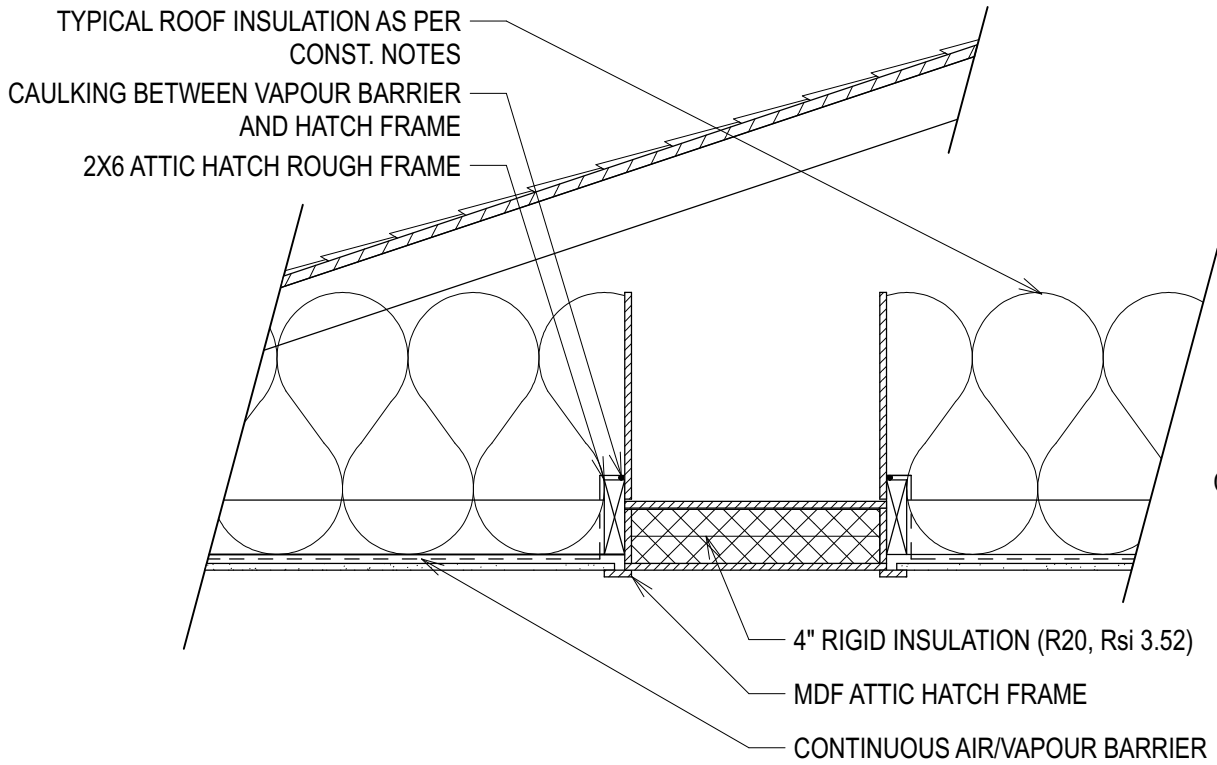
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D-12 - TYP. ATTIC HATCH DETAIL

TYPICAL ROOF

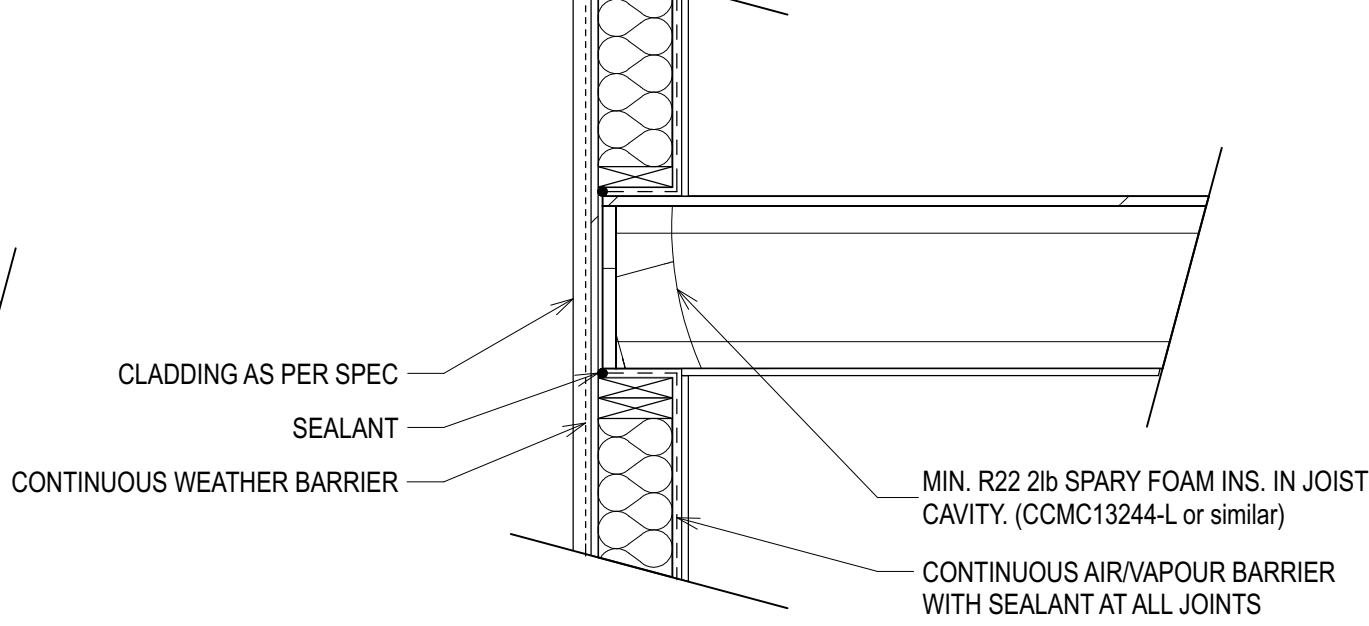
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D-13 - TYP. FLOOR CONNECTION DETAIL

FRAMED WALL WITH FRAMED FLOOR

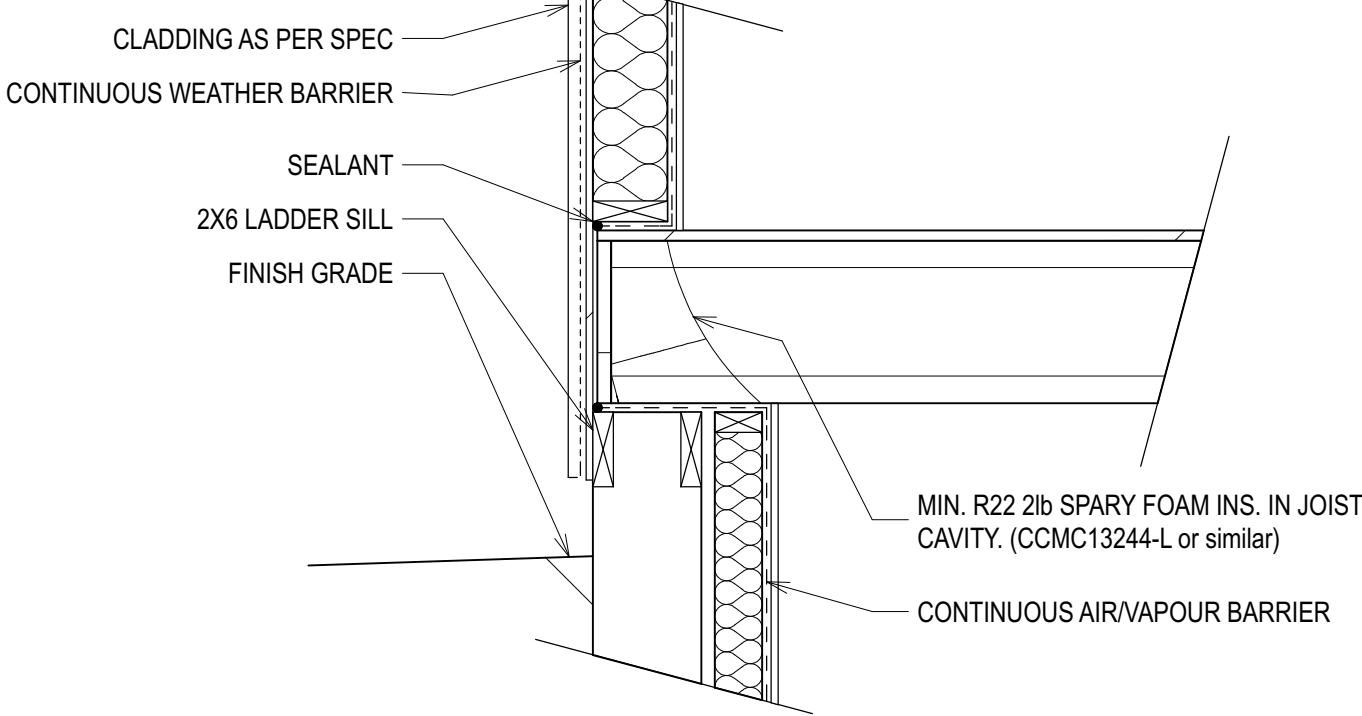
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D-14 - TYP. FOUNDATION CONNECTION DETAIL

FRAMED WALL WITH FOUNDATION WALL

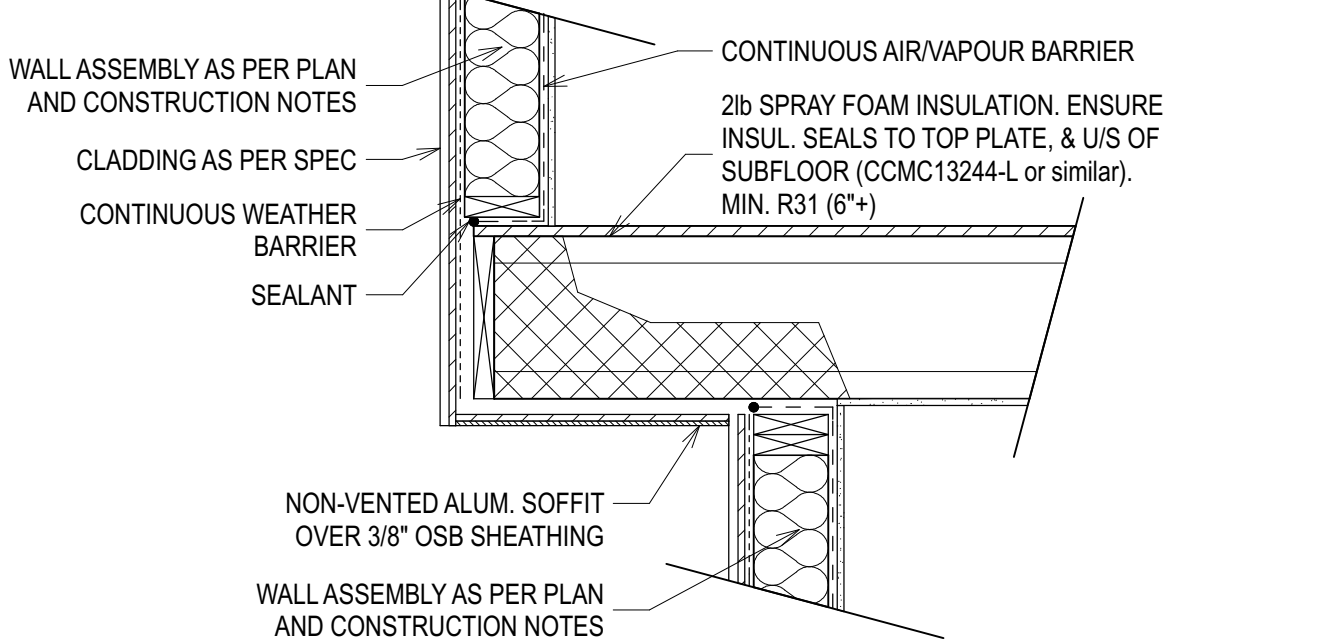
N.T.S.



D-15 - TYP. CANT. OVER FRAMED WALL

FRAMED WALL WITH FRAMED FLOOR

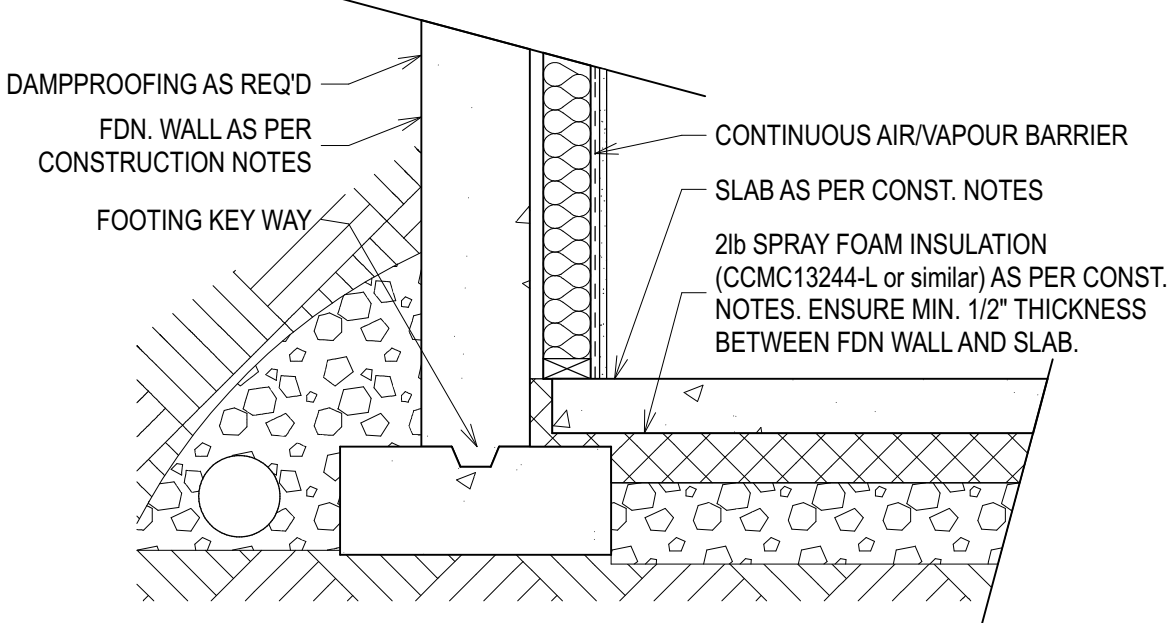
N.T.S.



D-20A - TYP. FOOTING CONNECTION DETAIL

FOUNDATION WALL WITH FOOTING - SLAB >4'-0" BELOW GRADE W/ SLAB HEATING

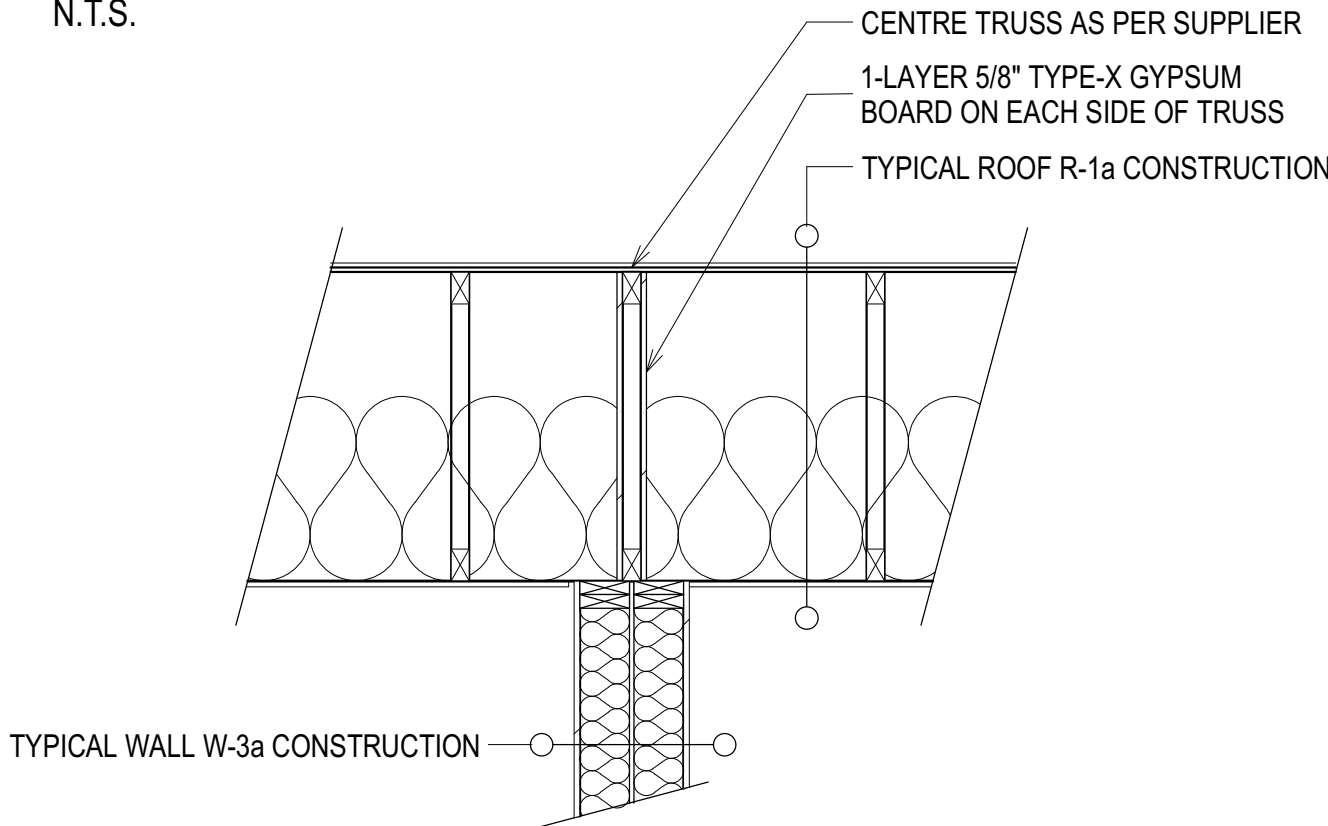
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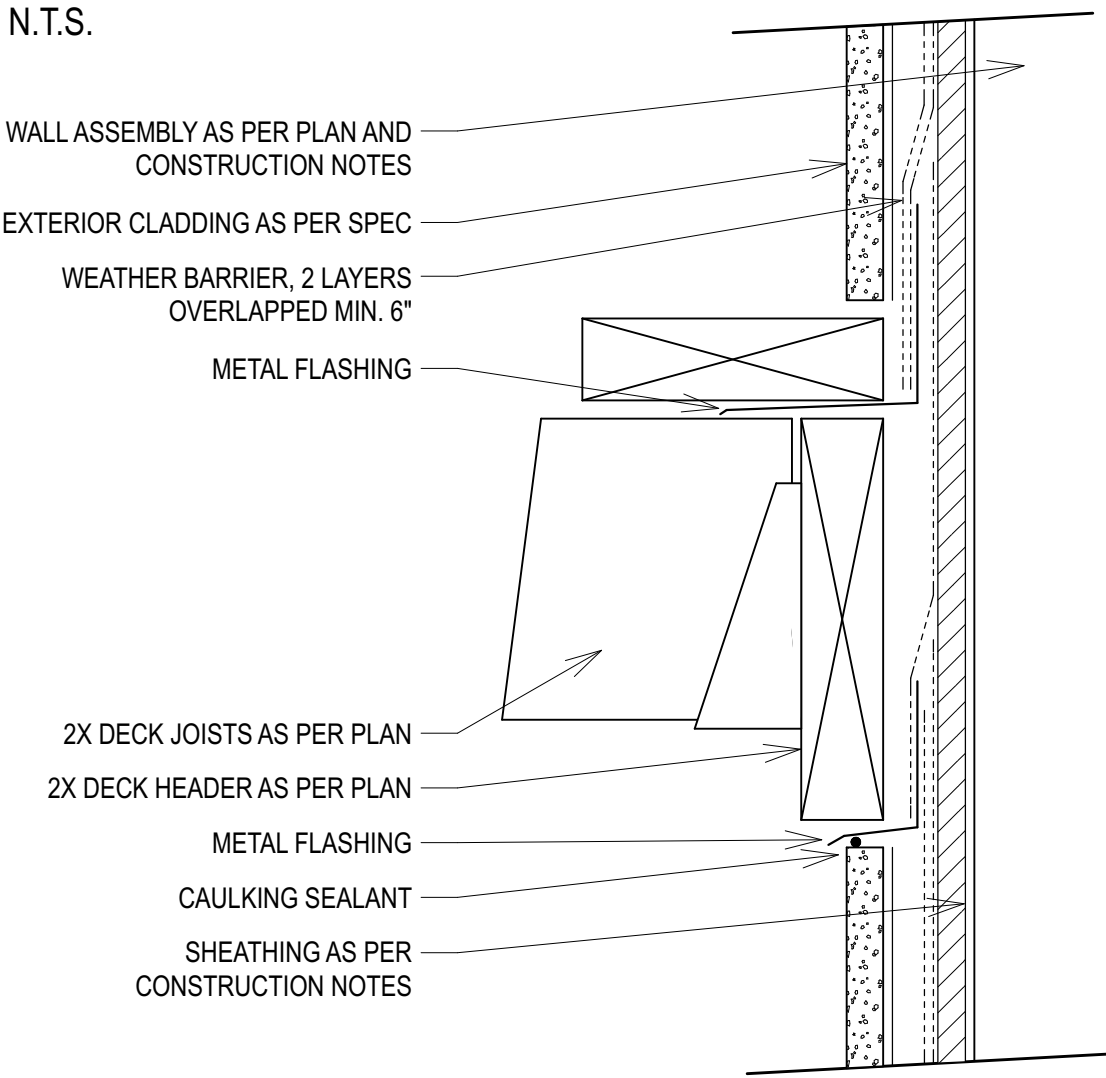
D-26 - PARTY WALL CONNECTION DETAIL

IN FRAMED ROOF

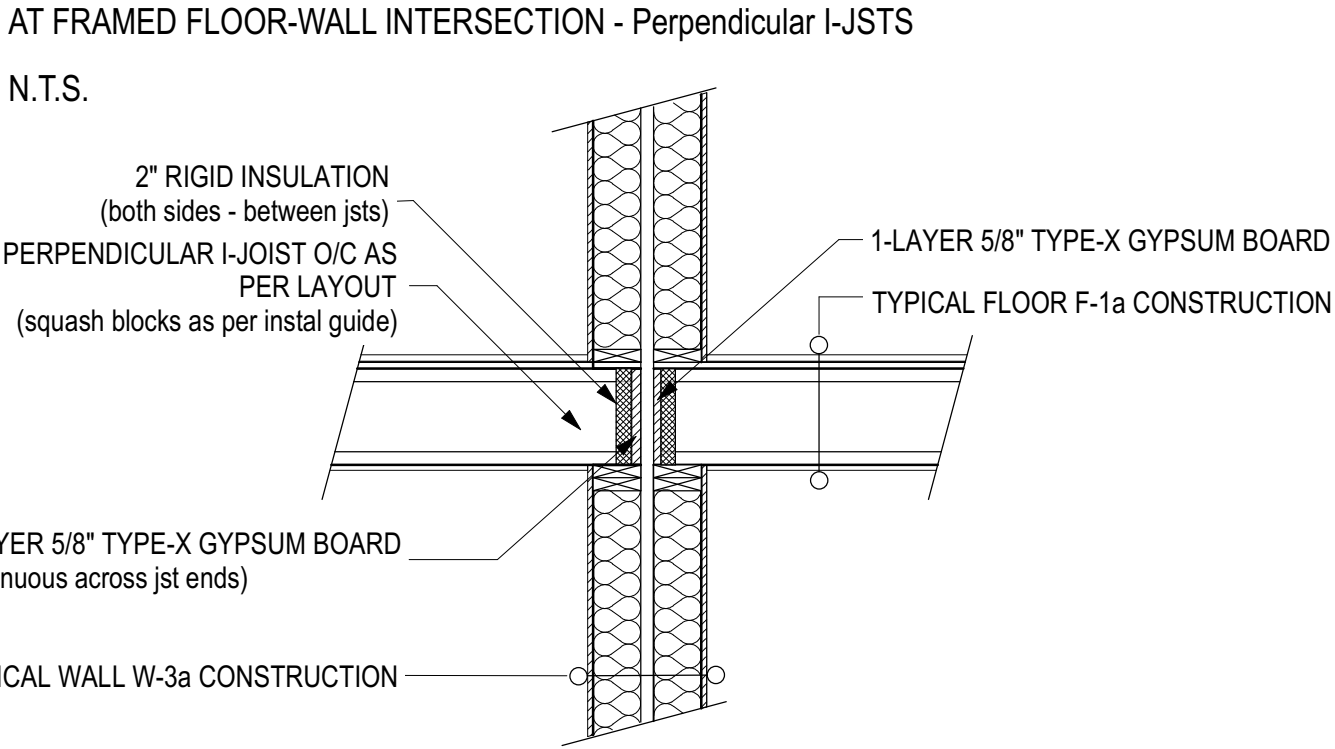
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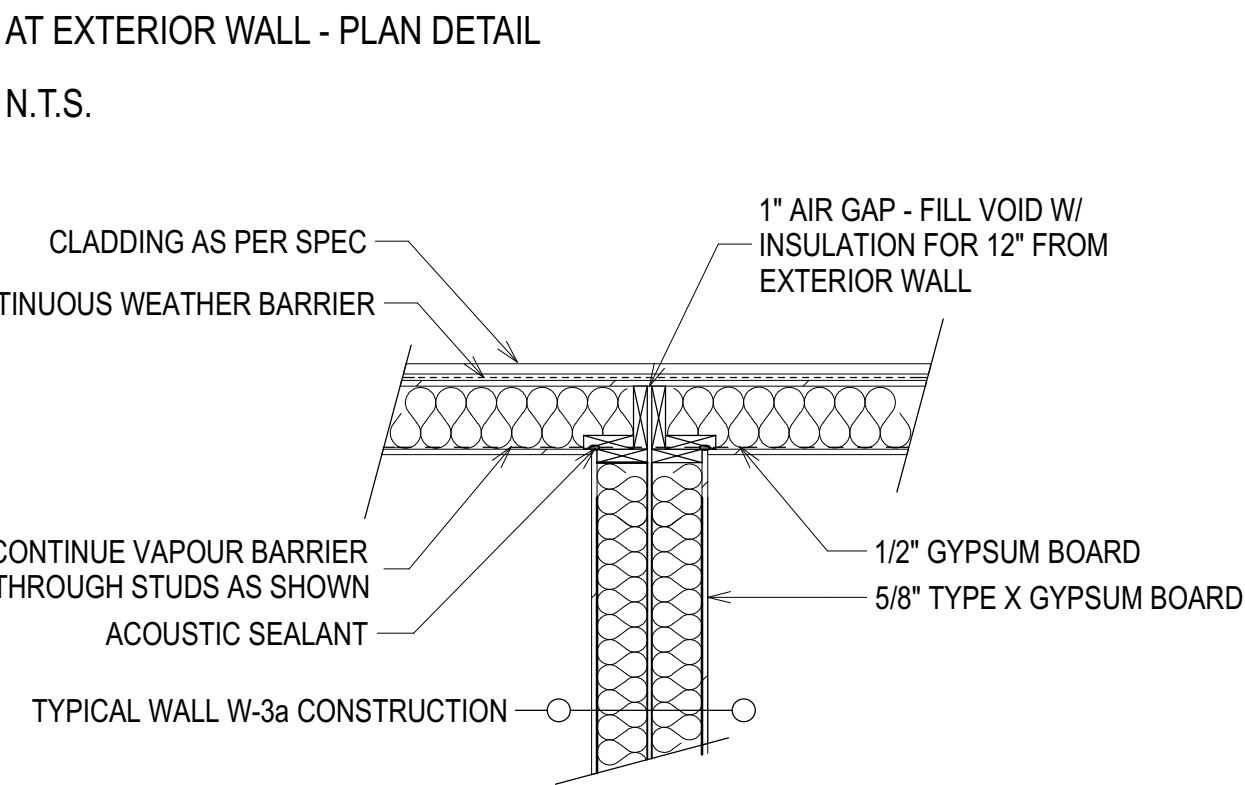
D-18 - DECK HEADER FLASHING DETAIL



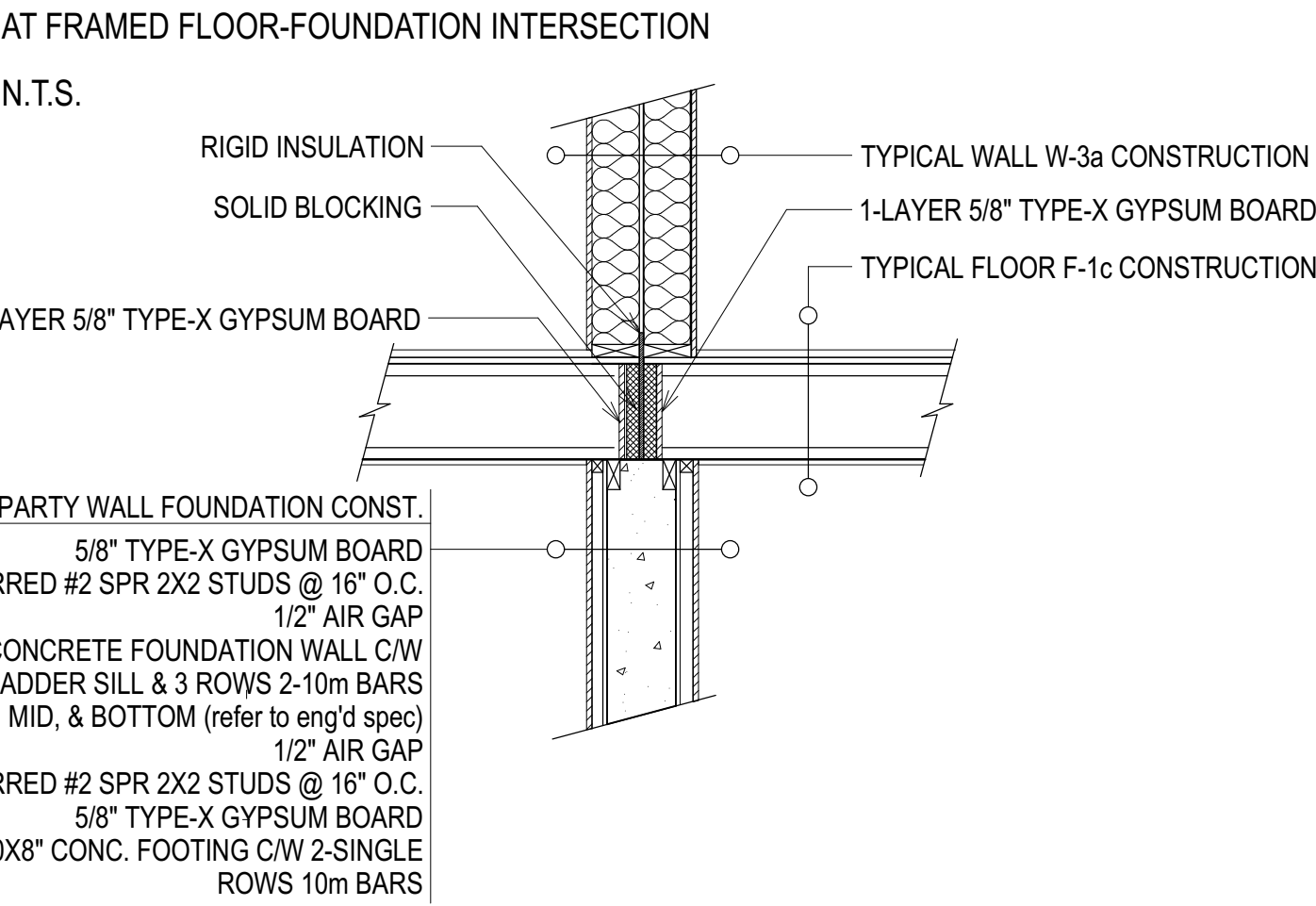
D-28a - PARTY WALL CONNECTION DETAIL 1HR FRR



D-28c - PARTY WALL CONNECTION DETAIL 1HR FRR

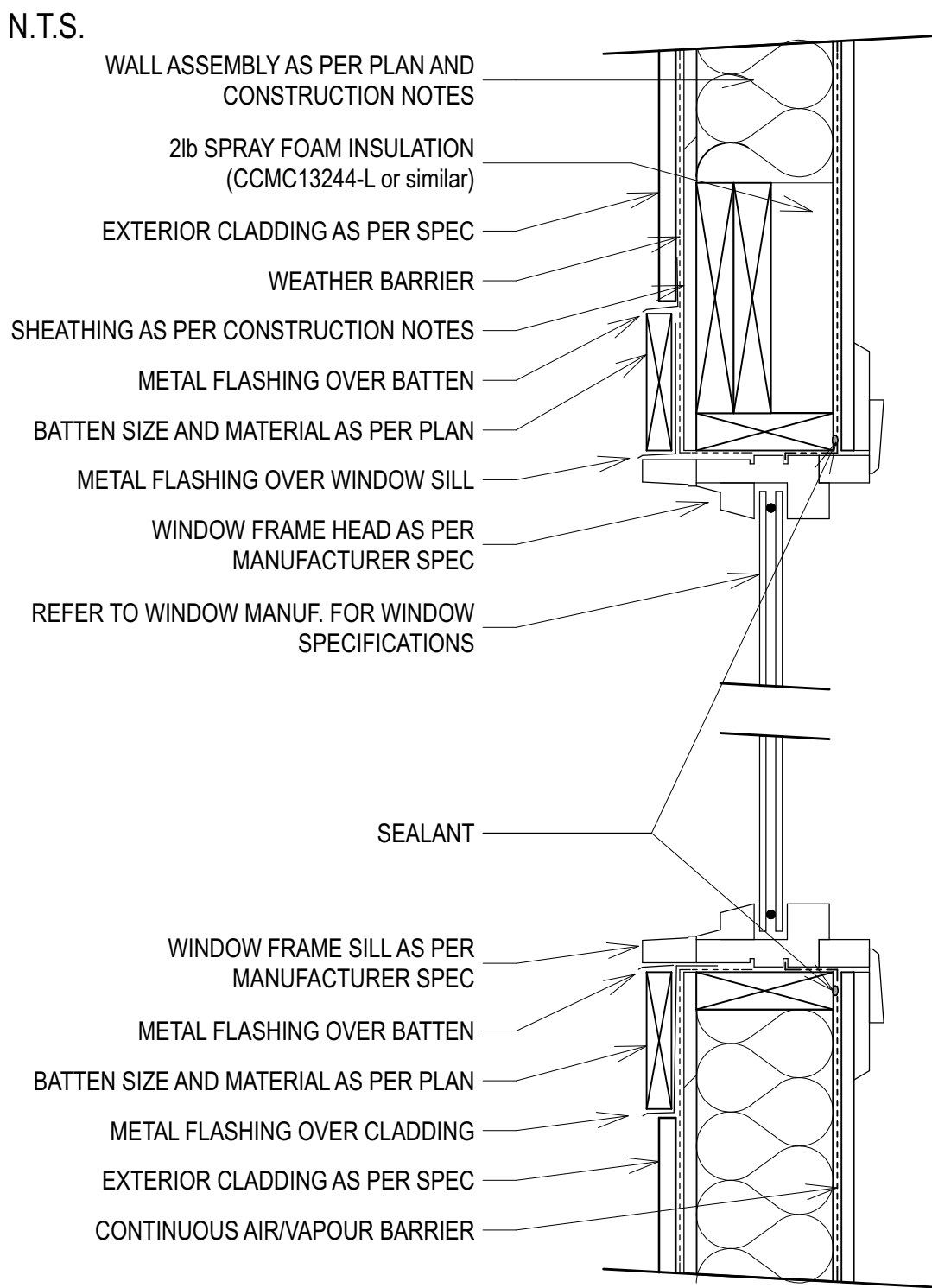


D-29 - PARTY WALL CONNECTION DETAIL 1HR FRR



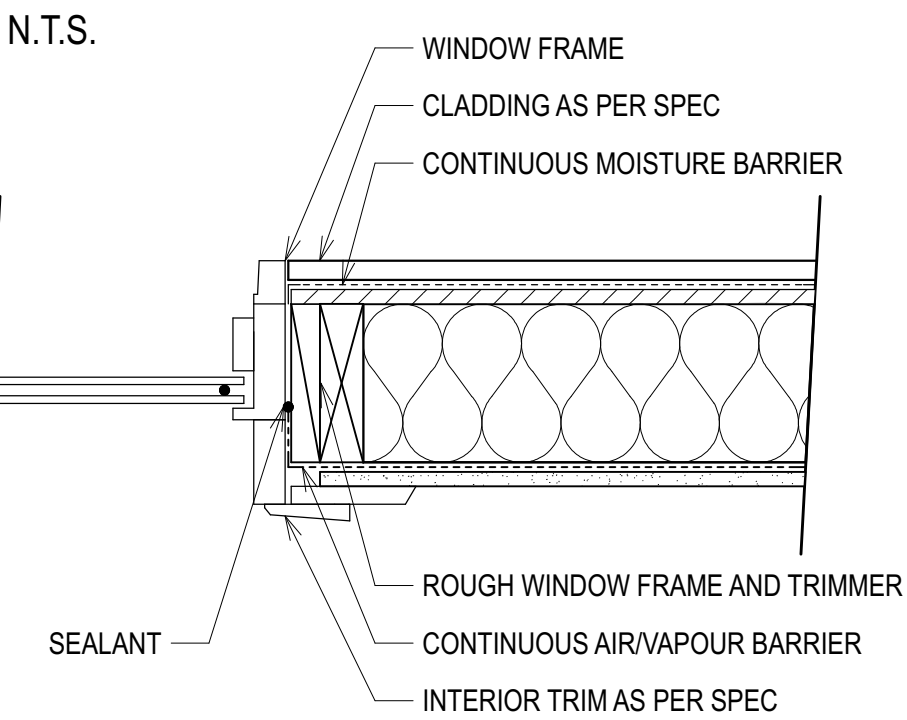
D-32A - WINDOW / DOOR OPENING FLASHING

SIDING /STUCCO WITH WINDOW BATTENS



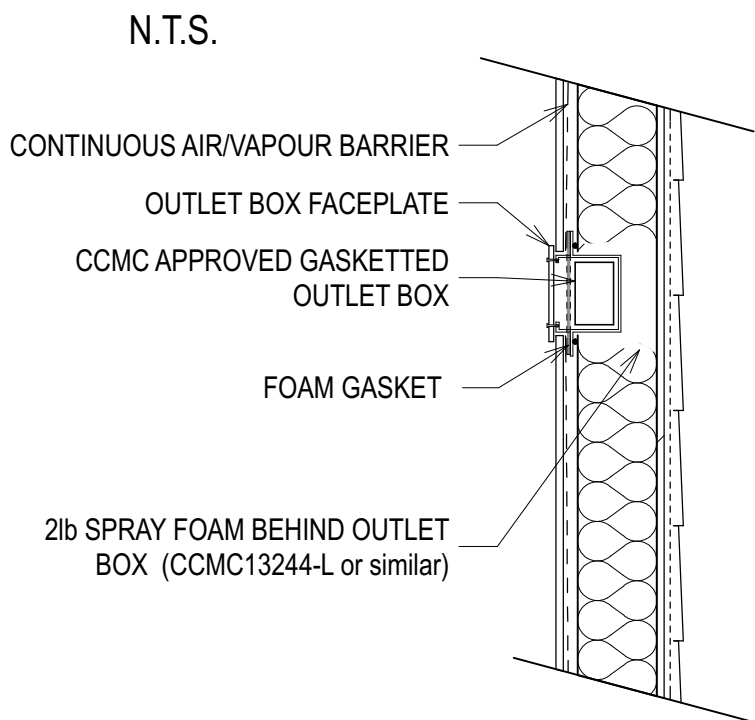
D-33 - TYP. DOOR JAMB DETAIL

IN FRAMED EXTERIOR WALL



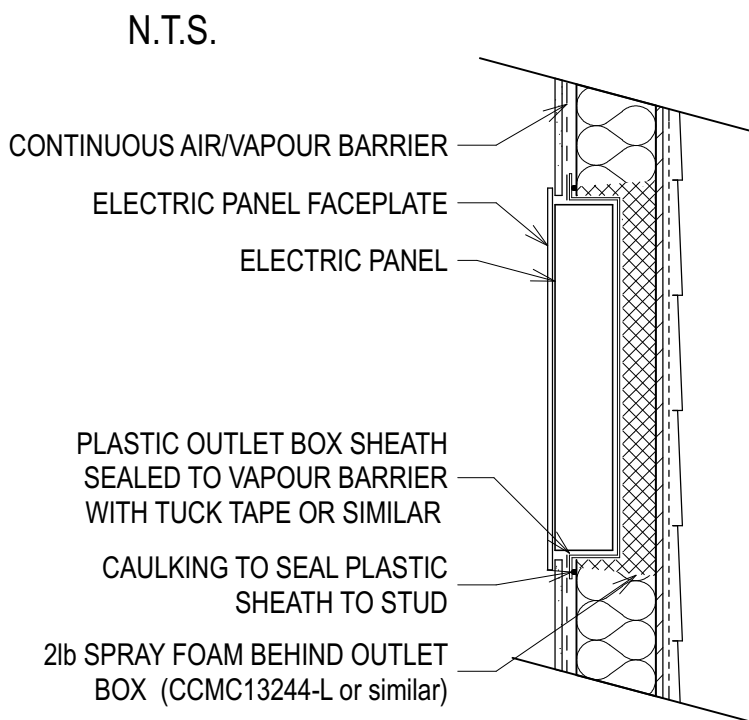
D-34 - TYP. OUTLET BOX

IN FRAMED EXTERIOR WALL

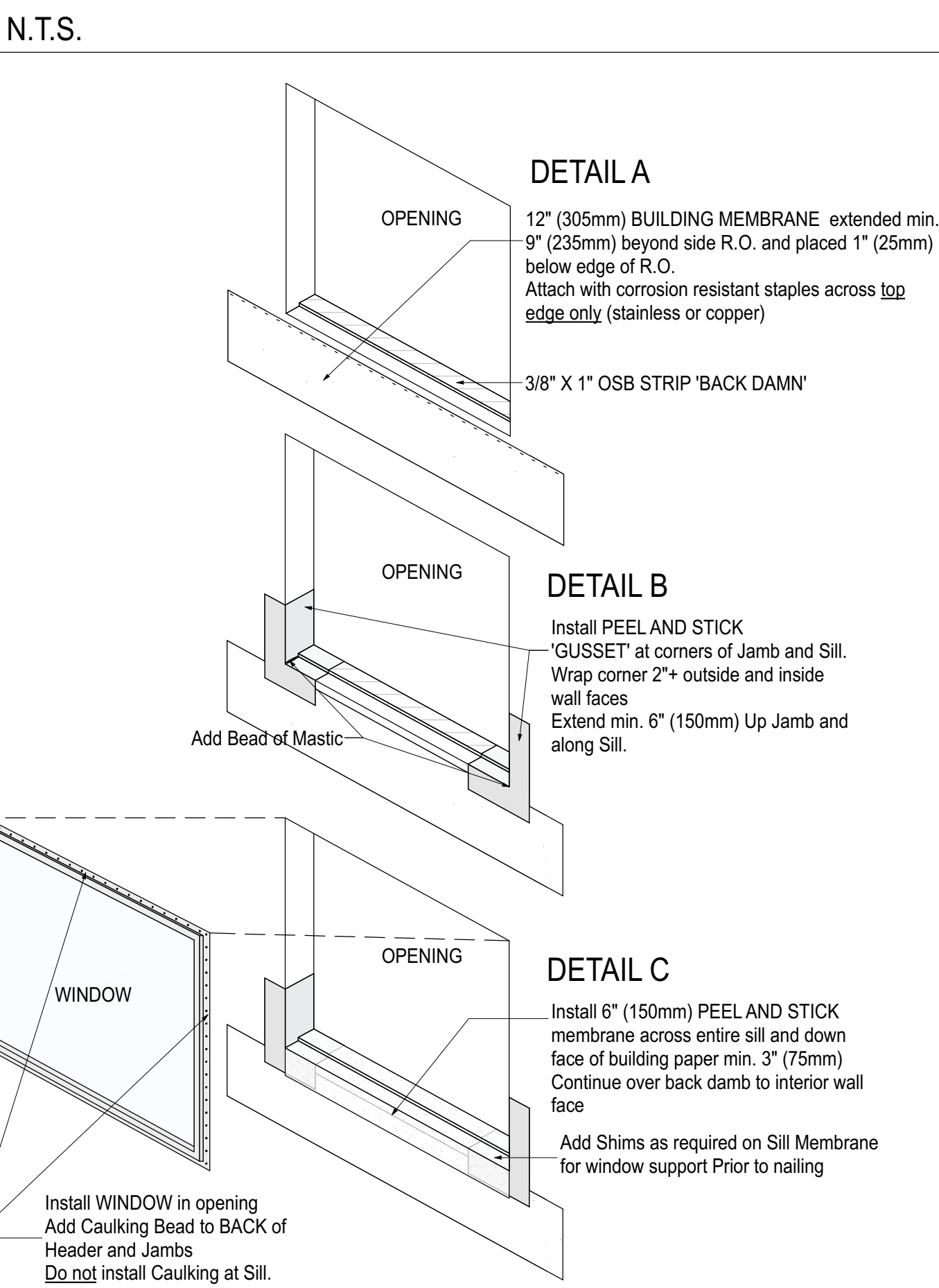


D-35 - TYP. ELECTRICAL PANEL

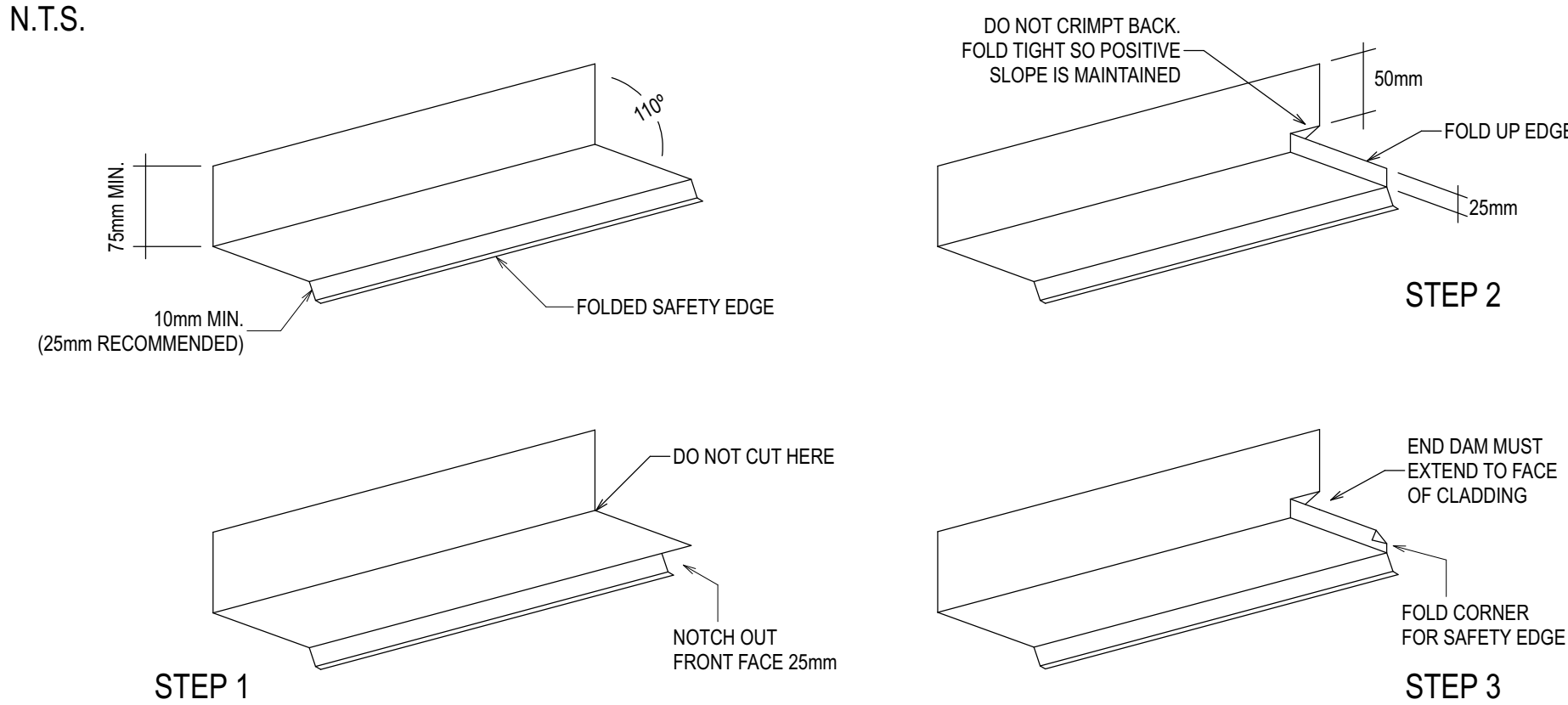
IN FRAMED EXTERIOR WALL



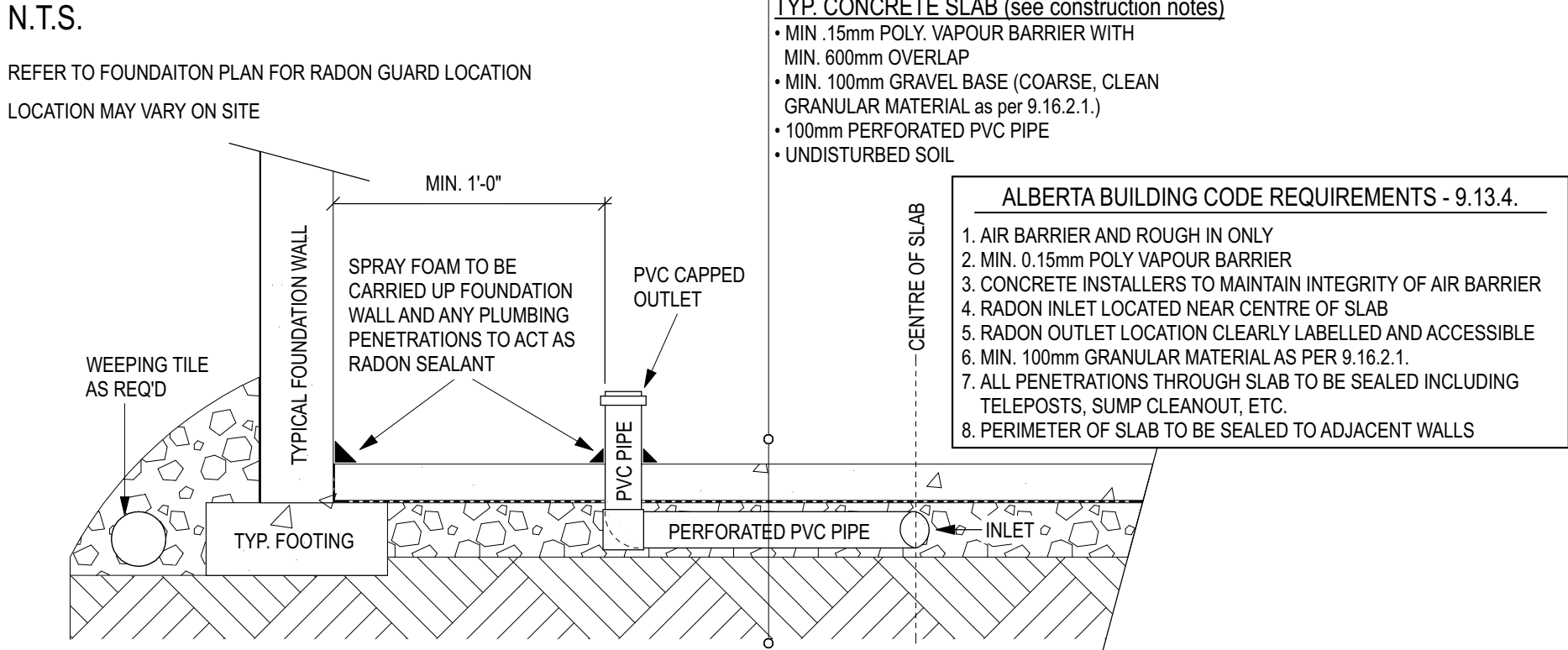
D-36 - GENERAL WINDOW INSTALL DETAIL



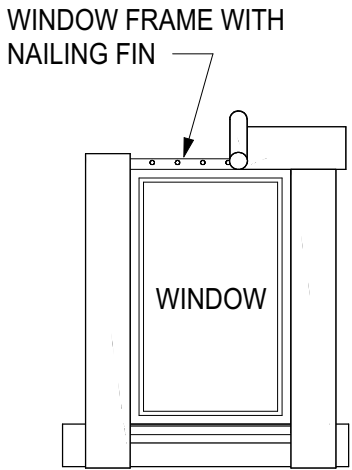
D-37 - FLASHING END DAM DETAIL



D-38 - SUBFLOOR DEPRESSURIZATION SYSTEM ROUGH-IN DETAIL

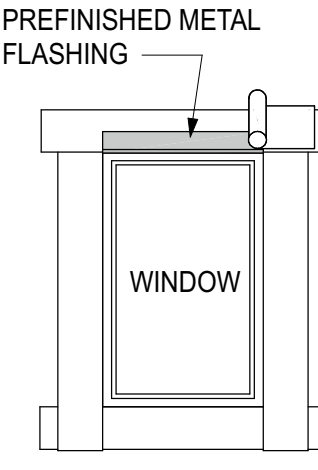


DETAIL D



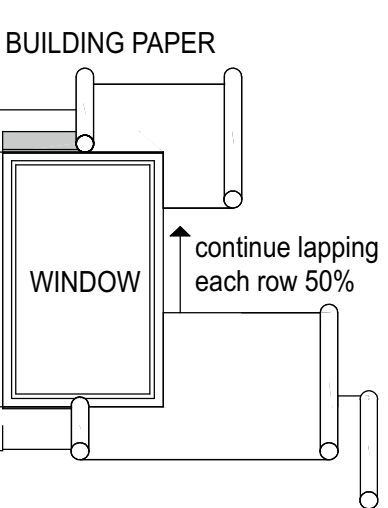
Apply 10"(250mm) vertical strips of PEEL & STICK over the side flanges and over existing bottom strip. Apply 10"(250mm) horizontal strip of membrane over the top flange. Extend the horizontal strip of membrane slightly past the outer edges of the vertical strips of membrane.

DETAIL E



Apply 10"(250mm) vertical strips of PEEL & STICK over PREFINISHED METAL FLASHING

DETAIL F



Install the specified building paper horizontally beginning at the bottom of the wall and proceeding upward, lapping courses as specified. Slide a layer underneath the previous bottom layer installed in Detail A. Then apply the building paper over the top, bottom and side strips of membrane.

RESPONSIBILITIES

NEW CENTURY DESIGN

It is NCD's responsibility to ensure these drawings meet or exceed the current Provincial Building Code and Land Use Bylaws. NCD will make all revisions, additions, or corrections required due to stated code or bylaws. Changes etc. due to discretionary interpretations by Approving Authorities having jurisdiction will be at the expense of the Homeowner or General Contractor.

ALL TRADES AND SUPPLIERS

These drawings form only PART of the construction documents. A Specification should be provided by the General Contractor (see below). Specific brands, models and trade names where used in these drawings are subject to availability and change orders, and should be confirmed in ALL cases. THE SPECIFICATION OVERRIDES THESE DRAWINGS. NCD is not responsible for errors, omissions, or replacement of any materials or supplies when no specification has been provided.

HOMEOWNER AND GENERAL CONTRACTOR

It is the responsibility of the Homeowner and General Contractor to review these drawings PRIOR TO START OF CONSTRUCTION. Any discrepancies between these drawings and the Specifications are to be provided in writing to New Century Design. Any errors or omissions due to items not specified by the above parties are not the responsibility of NCD.

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ISSUED / REVISED

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BUILDING 1

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CHECKED: DK

PROJECT # 23-3-CL-CN-036

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13:20:11
2025-06-19