



LIST OF DRAWINGS	
A-0.0	Cover Page
A-0.1	Assemblies
A-0.2	Schedule
A-1.0	Foundation plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-1.5	Area Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Sections
A-4.0	Section 1
A-4.1	Section 2
A-4.2	Section 3
A-5.0	Above Ground Wall Detail
A-5.1	Above Ground Wall Detail 2
A-5.2	Foundation Detail
A-5.3	Firewall Details
A-5.4	Firewall Details 2
A-5.5	Air Barrier & Cantilever Details
A-5.6	Window Detail
A-5.7	HRV & Jamb Details
A-5.8	Technical Data Sheet
A-5.9	Firewall Details 3
E-1.0	Basement electrical
E-1.1	Main Electrical
E-1.2	Upper Electrical

FLOOR AREA UNIT #1

BASEMENT	= 643.54 SQ. FT.
MAIN	= 643.54 SQ. FT.
UPPER	= 679.54 SQ. FT.
TOTAL	= 1323.08 SQ. FT.

FLOOR AREA UNIT #2

BASEMENT	= 637.12 SQ. FT.
MAIN	= 637.12 SQ. FT.
UPPER	= 672.79 SQ. FT.
TOTAL	= 1309.91 SQ. FT.

FLOOR AREA UNIT #3

BASEMENT	= 637.12 SQ. FT.
MAIN	= 637.12 SQ. FT.
UPPER	= 672.79 SQ. FT.
TOTAL	= 1309.91 SQ. FT.

FLOOR AREA UNIT #4

BASEMENT	= 635.87 SQ. FT.
MAIN	= 635.87 SQ. FT.
UPPER	= 678.04 SQ. FT.
TOTAL	= 1313.91 SQ. FT.

PROJECT NOTES:

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	--	--	--
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE NATIONAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:

FOUR UNIT ROWHOUSE

STATUS:

CONCEPT

SIGNATURES:

X

PRINTED: 2024-09-16 4:18:27 PM

JOHN TRINH & ASSOCIATES
Design | Drafting | Planning | Permits

www.johntrinh.ca - 403.472.8184

"We specialize in New Homes, In-fills, Renovations and Commercial projects."

PROJECT NAME:

633 22 Ave N.E CALGARY

DESIGNER:

JT

SCALE:

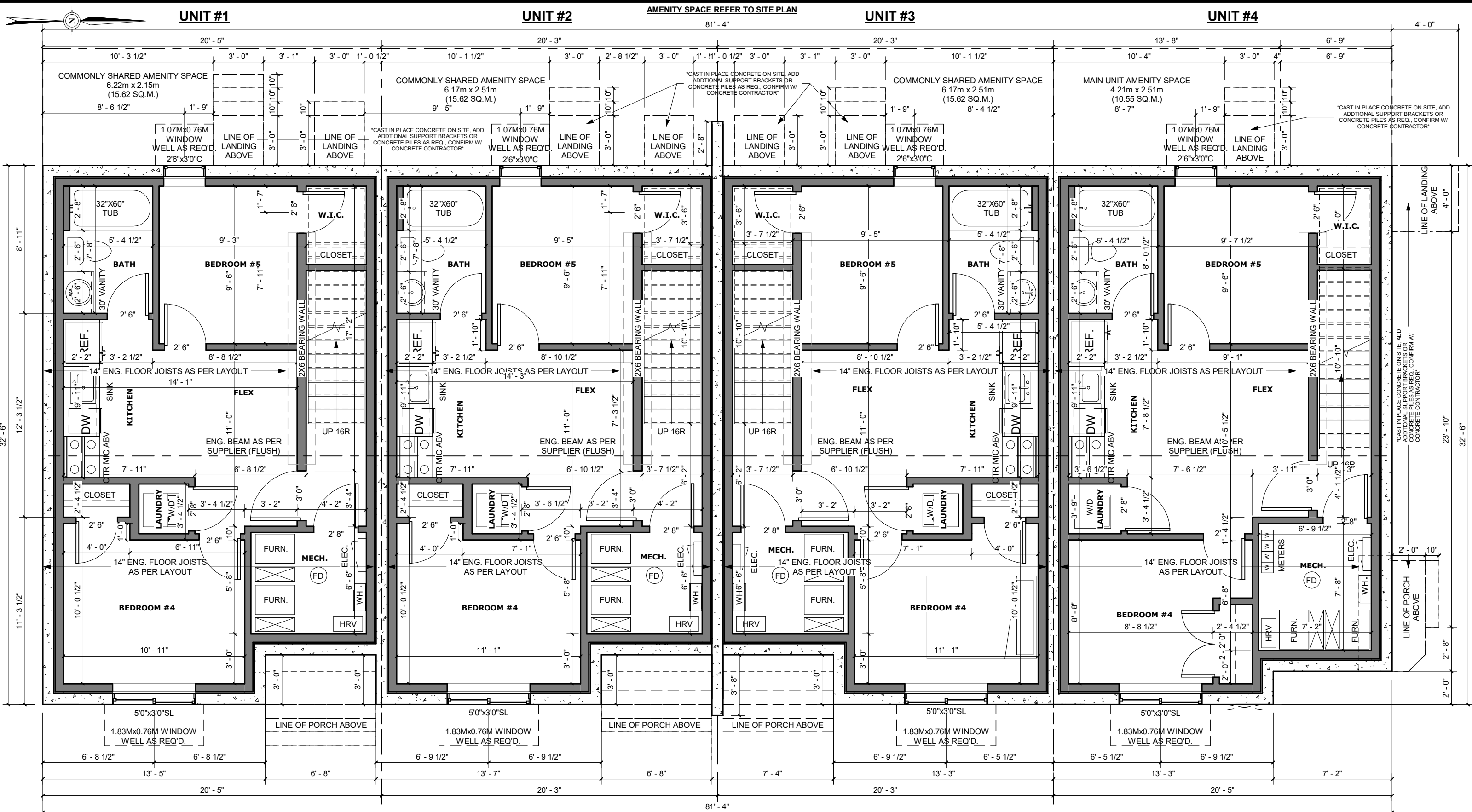
AS SHOWN

JOB #:

359 - 24

SHEET:

A-0.0



BASEMENT PLAN
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

WITH LIFE BREATH RNC 205 HEAT RECOVERY VENTILATION
(SEE SPEC. FOR DETAILS A-5.9)

BRADFORD WATER HEATER WITH 0.67-0.70 ENERGY STAR RATING AND 70-80 RECOVERY EFFICIENCY

LENNOX FURNACE WITH AFUE Rating of 95% - 98.7%

-ENSURE HEADROOM AT ELEC. PANEL IS MIN 6'-6" AND HAS 39" CLEARANCE

-EXACT FURNACE & HWT LOCATION & ORIENTATION TO BE DETERMINE BY HEATING CONTRACTOR. RADON PIPING LOCATION TBD ON SITE.

BASEMENT FLOOR PLAN

unit #1 - 643.54 SQ.FT.

unit #2 - 637.12 SQ.FT.

unit #3 - 637.12 SQ.FT.

unit #4 - 635.87 SQ.FT.

9'-0" BASEMENT

BASEMENT DOOR HEIGHTS: 6'-8"

DO NOT SCALE DRAWINGS.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS

CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.

JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT, UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	--	--	--
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE NATIONAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: **FOUR UNIT ROWHOUSE**

STATUS: **CONCEPT**

SIGNATURES: **X**

PRINTED: **2024-09-16 4:18:28 PM**

JOHN TRINH & ASSOCIATES
Design | Drafting | Planning | Permits

www.johntrinh.ca - 403.472.8184

"We specialize in New Homes, In-fills, Renovations and Commercial projects."

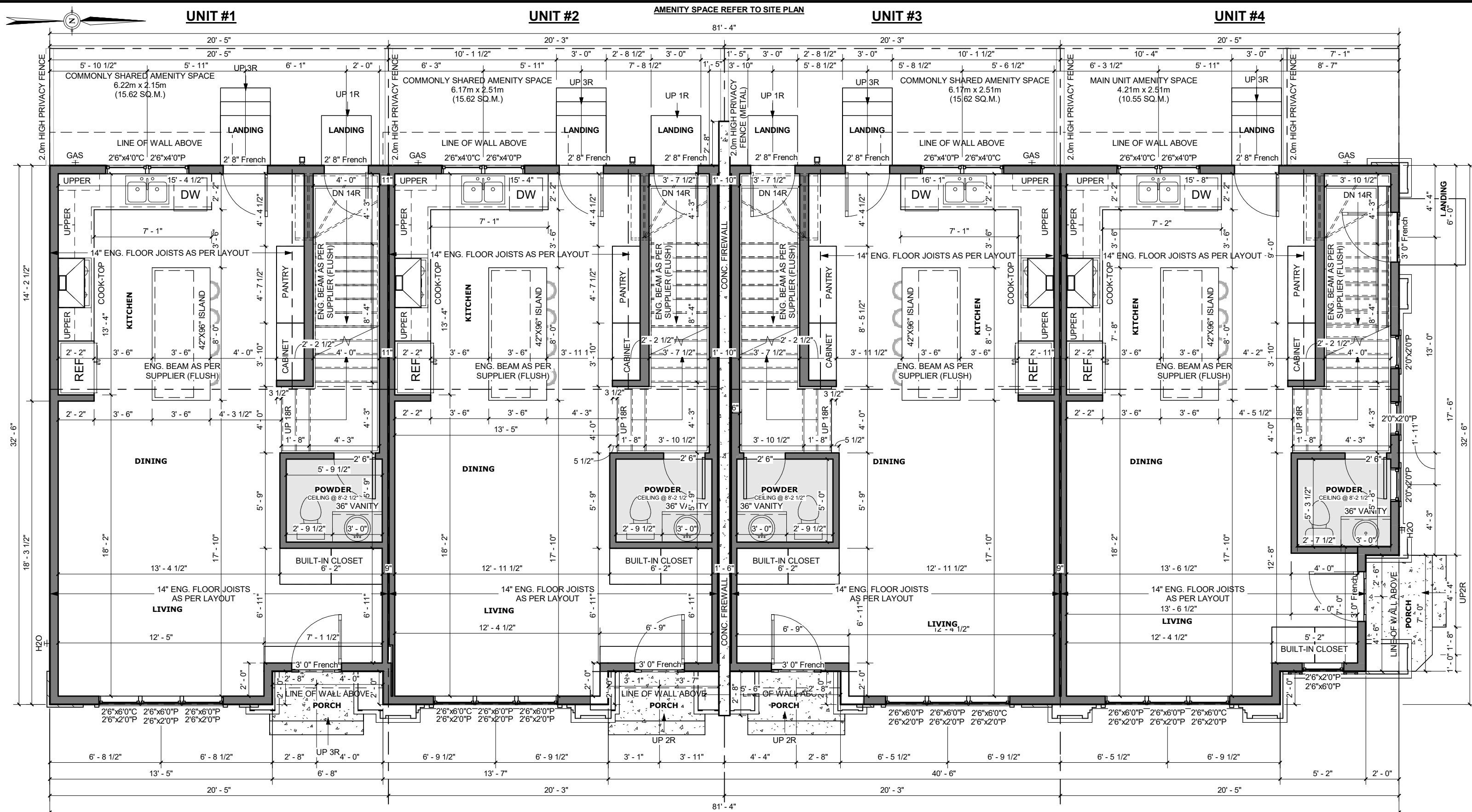
PROJECT NAME: **633 22 Ave N.E CALGARY**

DESIGNER: **JT**

SCALE: **AS SHOWN**

JOB #: **359 - 24**

SHEET: **A-1.1**



MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

SPRAY FOAM NOTES: CCMC#14140-L

-2LBS SPRAY FOAM INSULATION TO BE USED OF RIM JOISTS

-FRAME TOP OF MAIN FLOOR WINDOWS TO MATCH HEIGHT OF EXT DOOR AND TRANSOM UNLESS NOTED

-ALL SIDEYARD CANTILEVERS MUST BE DRYWALLED W/ 5/8 DRYWALL & NON VENTING SOFFIT ON UNDERSIDE

NAILING PATTERN TO BE 6" OC ON PERIMETER AND 8" OC IN THE FIELD-GALVANISED NAILS TO BE USED

MAIN FLOOR PLAN

unit #1 - 643.54 SQ.FT.

unit #2 - 637.12 SQ.FT.

unit #3 - 637.12 SQ.FT.

unit #4 - 635.87 SQ.FT.

10'-1 1/8" MAIN FLOOR

MAIN FLOOR DOOR HEIGHTS: 8'-0"

DO NOT SCALE DRAWINGS.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS

CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.

JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	--	--	--
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE NATIONAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: **FOUR UNIT ROWHOUSE**

STATUS: **CONCEPT**

SIGNATURES: **X**

PRINTED: **2024-09-16 4:18:29 PM**

JOHN TRINH & ASSOCIATES

Design | Drafting | Planning | Permits

www.johntrinh.ca - 403.472.8184

"We specialize in New Homes, In-fills, Renovations and Commercial projects."

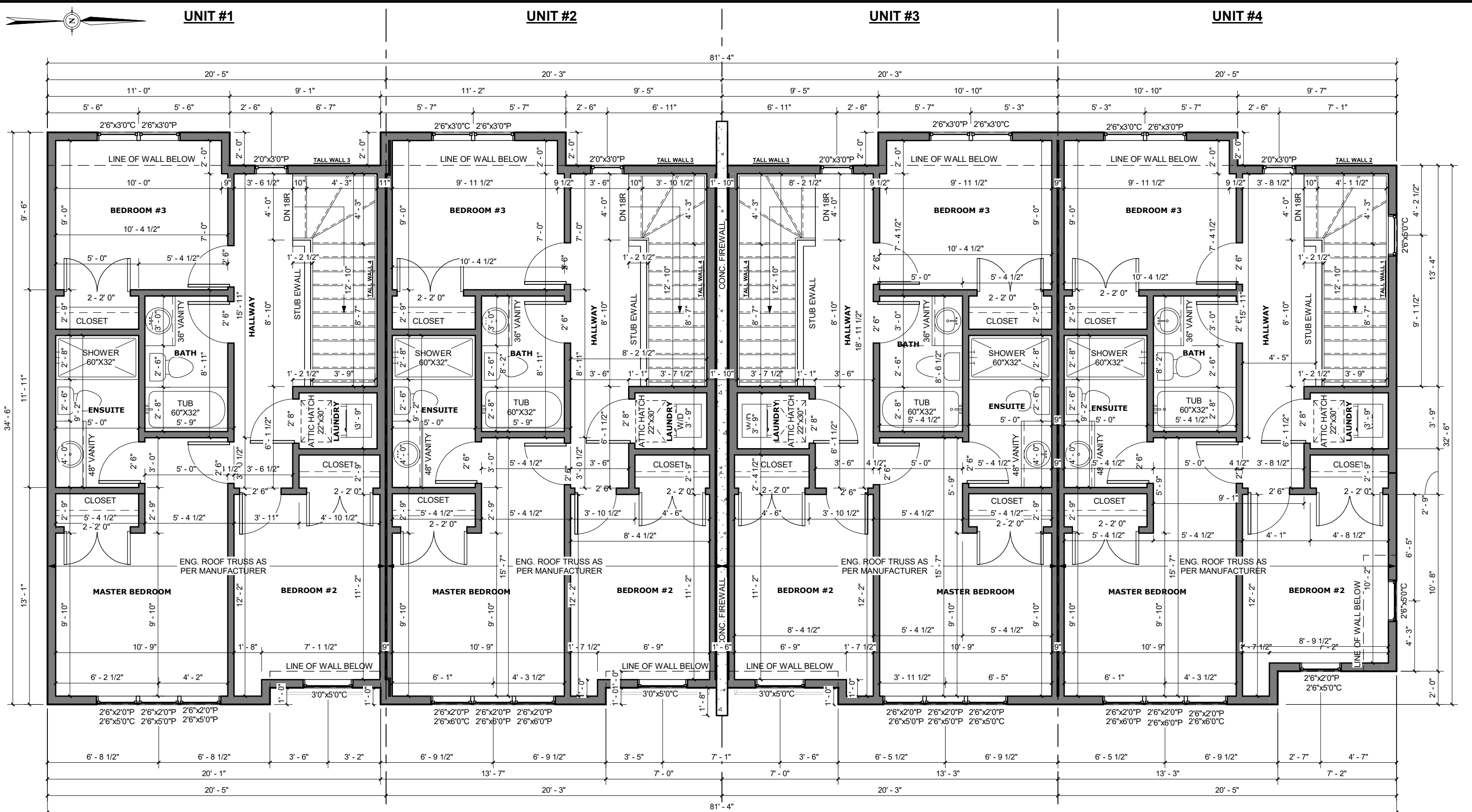
PROJECT NAME: **633 22 Ave N.E CALGARY**

DESIGNER: **JT**

SCALE: **AS SHOWN**

JOB #: **359 - 24**

SHEET: **A-1.2**



UPPER FLOOR PLAN
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

SPRAY FOAM NOTES: CCMC#14140-L

-2LBS SPRAY FOAM INSULATION TO BE USED OF RIM JOISTS

-FRAME TOP OF MAIN FLOOR WINDOWS TO MATCH HEIGHT OF EXT DOOR AND TRANSOM UNLESS NOTED

-ALL SIDEYARD CANTILEVERS MUST BE DRYWALLED W/ 5/8 DRYWALL & NON VENTING SOFFIT ON UNDERSIDE,

NAILING PATTERN TO BE 6" OC ON PERIMETER AND 8" OC IN THE FIELD-GALVANISED NAILS TO BE USED

UPPER FLOOR PLAN

unit #1 - 679.54 SQ.FT.

unit #2 - 672.79 SQ.FT.

unit #3 - 672.79 SQ.FT.

unit #4- 678.04 SQ.FT.

9'-1 1/8" UPPER FLOOR

UPPER FLOOR DOOR HEIGHTS: 8'-0"

DO NOT SCALE DRAWINGS.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS

CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.

JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	--	--	--
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE NATIONAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: **FOUR UNIT ROWHOUSE**

STATUS: **CONCEPT**

SIGNATURES: X

PRINTED: 2024-09-16 4:18:30 PM

JOHN TRINH & ASSOCIATES

Design | Drafting | Planning | Permits

www.johntrinh.ca - 403.472.8184

"We specialize in New Homes, In-fills, Renovations and Commercial projects."

PROJECT NAME: 633 22 Ave N.E CALGARY

DESIGNER: JT

SCALE: AS SHOWN

JOB #: 359 - 24

SHEET: A-1.3

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUMINUM FASCIA
- 3

STUCCO FINISH - WHITE
- 4

STONE FINISH
- 5

CAST-IN PLACE CONCRETE
- 6

CONCRETE PARGING
- 7

HARDIE FINISH - CHARCOAL
- 8

SMART BOARD FINISH - GREY

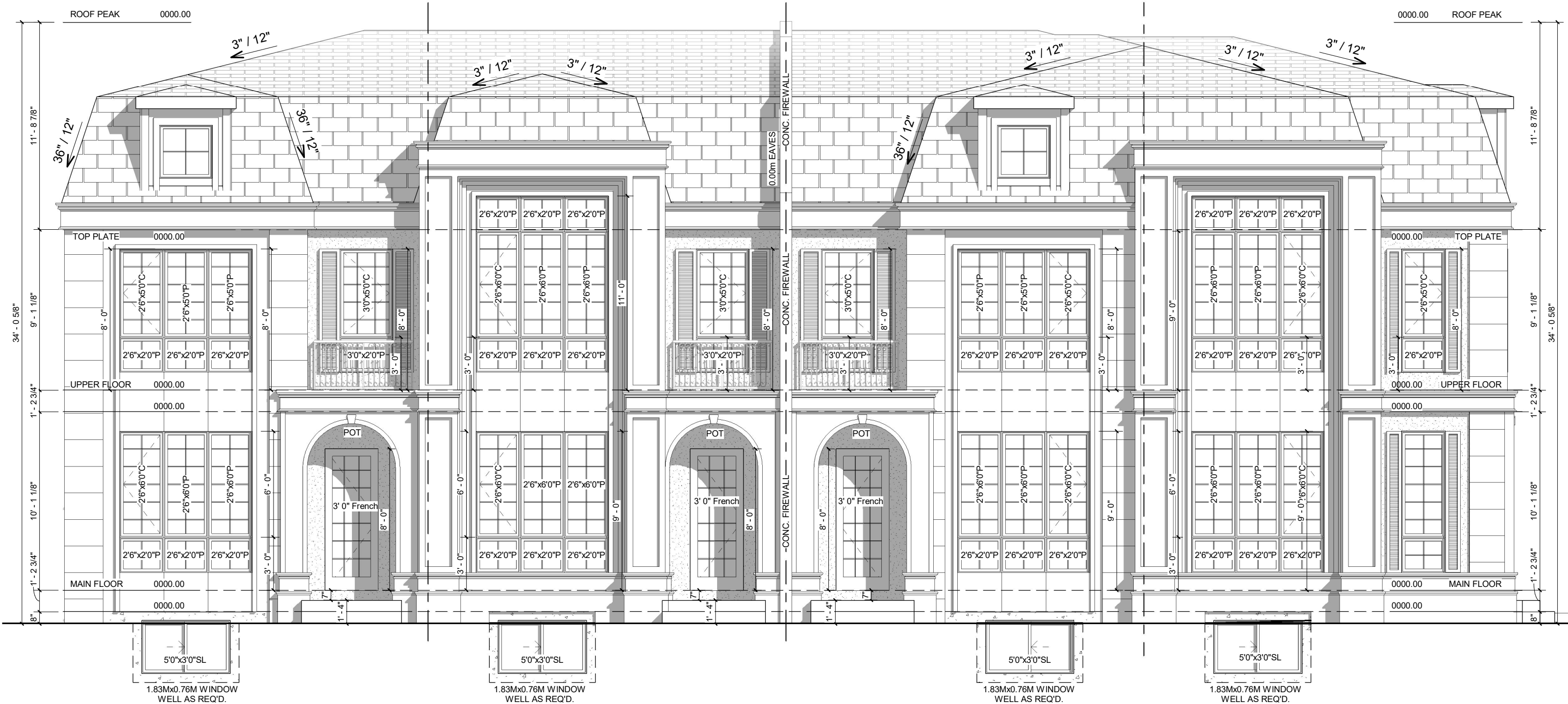
VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

UNIT #4

UNIT #3

UNIT #2

UNIT #1



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO
RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A
REGISTERED PROFESSIONAL
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING
ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	--	--	--
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY JOHN TRINH &
ASSOCIATES INC. AND WERE CREATED FOR USE
IN A SPECIFIED PROJECT. NONE OF THE IDEAS
AND/OR DESIGNS MAY BE USED BY, OR
DISCLOSED TO, ANY OTHER PERSON OR
ORGANIZATION FOR ANY PURPOSE WITHOUT THE
WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE NATIONAL BUILDING
CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:

FOUR UNIT ROWHOUSE

STATUS:

CONCEPT

SIGNATURES:

X

PRINTED: 2024-09-16 4:18:32 PM

JOHN TRINH & ASSOCIATES
Design | Drafting | Planning | Permits

www.johntrinh.ca - 403.472.8184

"We specialize in New Homes, In-fills,
Renovations and Commercial projects."

PROJECT NAME:

633 22 Ave N.E CALGARY

DESIGNER:

JT

SCALE:

AS SHOWN

JOB #:

359 - 24

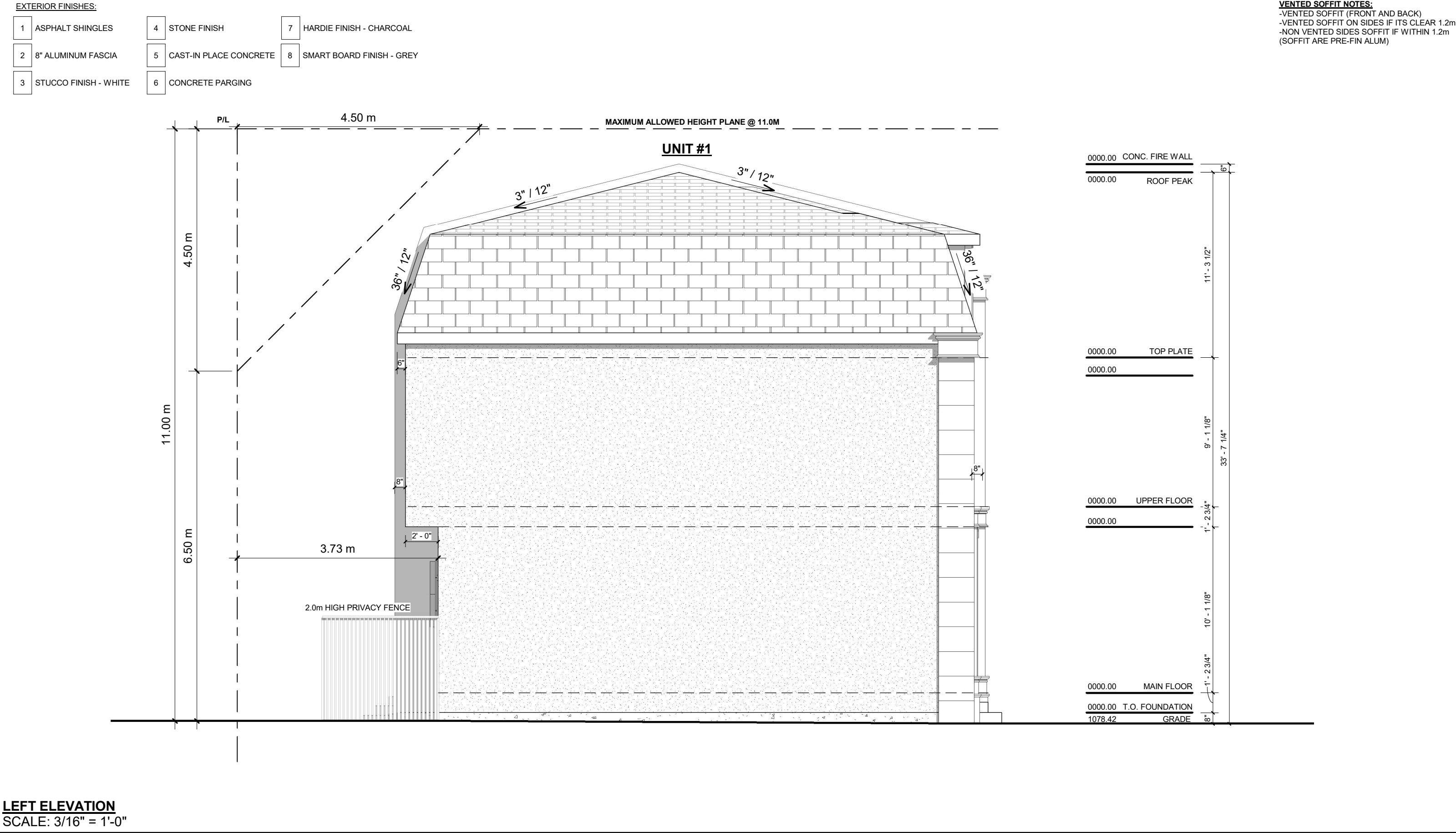
SHEET:

A-2.0



REAR ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:	DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.	ISSUES:	COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE NATIONAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.	PROJECT:		JOHN TRINH & ASSOCIATES Design Drafting Planning Permits www.johntrinh.ca - 403.472.8184 “We specialize in New Homes, In-fills, Renovations and Commercial projects.”	PROJECT NAME:	
				FOUR UNIT ROWHOUSE			633 22 Ave N.E CALGARY	
				STATUS: CONCEPT			DESIGNER:	JOB #:
				SIGNATURES: X			JT	359 - 24
				PRINTED: 2024-09-16 4:18:34 PM			SCALE:	SHEET:
							AS SHOWN	A-2.1



1	ASPHALT SHINGLES	4	STONE FINISH	7	HARDIE FINISH - CHARCOAL
2	8" ALUMINUM FASCIA	5	CAST-IN PLACE CONCRETE	8	SMART BOARD FINISH - GREY
3	STUCCO FINISH - WHITE	6	CONCRETE PARGING		

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



SCALE: 3/16" = 1'-0"

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRAVIS & ASSOCIATES, INC. ASSUMES NO
RESPONSIBILITY IMPLIED OR DIRECT UNLESS THE
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A
REGISTERED PROFESSIONAL.
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING
ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	--	--	--
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY JOHN TRINH &
ASSOCIATES INC. AND WERE CREATED FOR USE
IN A SPECIFIED PROJECT. NONE OF THE IDEAS
AND/OR DESIGNS MAY BE USED BY, OR
DISCLOSED TO, ANY OTHER PERSON OR
ORGANIZATION FOR ANY PURPOSE WITHOUT THE
WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE NATIONAL BUILDING
CODE AND ANY OTHER GOVERNING AUTHORITIES

PROJECT:

FOUR UNIT ROWHOUSE

STATUS: CONCEPT

SIGNATURES:
X _____
PRINTED: 2024-09-16 4:18:38 PM

JOHN TRINH & ASSOCIATES
Design | Drafting | Planning | Permits

www.johntrinh.ca - 403.472.8184

"We specialize in New Homes, In-fills, Renovations and Commercial projects."

PROJECT NAME

633 22 Ave N.E CALGARY

DESIGNER: JT

SCALE:
AS SHOWN

JOB #:
359 - 24

SHEET: A-2.3